

490 SOUTH VAN NESS AVENUE

SAN FRANCISCO, CA 94103



The architecture office of Werner Schmidt

1014 Howard Street San Francisco, CA 94103
F 415 252 9020 T 415 252 7063

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| | |
|----------|------------------------|
| 10.07.14 | 1A PLANNING APPROVAL |
| 11.25.14 | SITE PERMIT RESPONSE 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY:
DATE: 1/29/2015 CHECKED BY: WS
SCALE: 1/8" = 1'-0"

DRAWING INDEX

SHEET NUMBER:
A0000.1

| SHEET # | SHEET NAME | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | XX/XX/XXXX - 75% CD/BD DOCUMENT | |
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INDEX LEGEND

NOT ISSUED
 ISSUED FOR INFORMATION & COORDINATION
 ISSUED FOR CONSTRUCTION

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1014 Howard Street
San Francisco, CA
94103
T 415.252.7063
F 415.252.7060
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490 SOUTH VAN NESS AVENUE, SAN FRANCISCO, CA 94103
PRE-APPLICATION PLAN REVIEW MEETING

DATE OF PRE-APPLICATION MEETING: MARCH 30, 2010

MEETING ATTENDEES:
JEFFREY MA, DBI
FRED STUMPF, STFD
WALTER SCHWALZ, FORUM DESIGN
LIVANCHO BORDO, FORUM DESIGN

QUESTIONS FOR DBI / STFD

1. EGRESS FROM NON-ACCESSIBLE LEVEL

THE PROPOSED BUILDING INCLUDES PARKING ON TWO LEVELS, THE GROUND FLOOR AND BASEMENT LEVEL. ALL OF THE REQUIRED ACCESSIBLE PARKING SPACES ARE LOCATED ON THE GROUND FLOOR. THE PROPOSED BUILDING HAS ACCESS TO ALL THE BUILDING LEVELS VIA DIRECT ACCESS TO THE RESIDENTIAL LOBBY AND THE ELEVATOR.

PLEASE COMMENT THAT REQUIRE THERE ARE NO ACCESSIBLE PARKING SPACES ON THE BASEMENT LEVEL. THE ELEVATOR LOBBY ARE NOT REQUIRED PER CBC SEC. 1109A.2.1.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
Storage rooms are required to be accessible per sec. 1172. Provide a ratio of 1 accessible residential storage room per 25 on an accessible floor. Since the 23 storage rooms in the basement are non-accessible, one accessible storage will be provided on the ground floor level.

RESPONSE TO DRAWINGS BASED ON DATED RESPONSE
One accessible storage has been provided on the accessible ground floor level located adjacent to the reception. Please see plan below.

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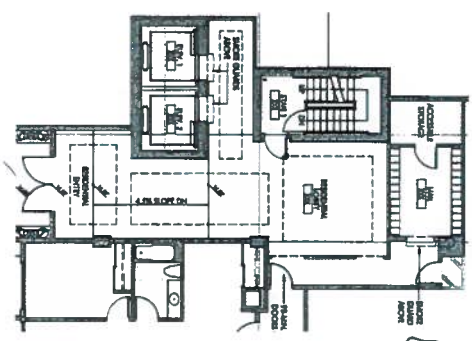
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PLEASE COMMENT THE OPENINGS, AS WELL AS, THE MAGNETIC HOLD-OPEN DOORS WITH 90-DEGREE OPENING SPACING THE LOBBY FROM THE ELEVATOR VESTIBULE AND RESIDENTIAL CORRIDOR ARE ACCEPTABLE PER CBC SEC. 1021.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
The new entrance may comply with sec. 1024, exception 1, provided that other rooms are separated from the lobby by vertical doors or equivalent means.

RESPONSE TO DRAWINGS BASED ON DATED RESPONSE
A 90-degree door has been added to separate the lobby from the corridor (see postscript) to the elevator lobby. The new entrance door has been added to the elevator lobby as well as the 90-degree door. Please see plan below.

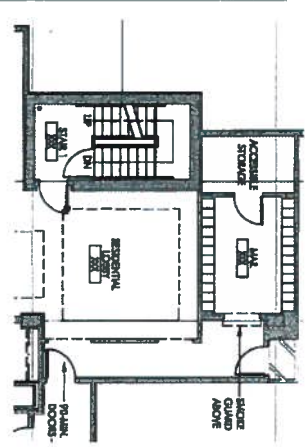


ADD 90 DEGREE
FIRE DOOR
SEPARATION
MAIL ROOM &
LOBBY AND VESTIBULE

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2. PARKING GARAGE CEILING HEIGHT

THE MAIN VERTICAL ENTRANCE TO THE TWO LEVELS OF PARKING GARAGE IS LOCATED ON THE GROUND FLOOR FROM ADAMS STREET. THE PROPOSED BUILDING WILL REMOVE THE REQUIRED VERTICAL CLEARANCE OF 7' MIN FOR VEHICULAR ACCESS AND THE ACCESSIBLE PARKING SPACES.

PLEASE COMMENT THAT THE MINIMUM VERTICAL CLEARANCE IS NOT REQUIRED THROUGHOUT THE EXISTING GARAGE LEVEL, AS WELL AS, ABOVE THE MAIN PER CBC SEC. 1109A.8.1.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
DB and/or STFD Agree.

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DATED RESPONSE

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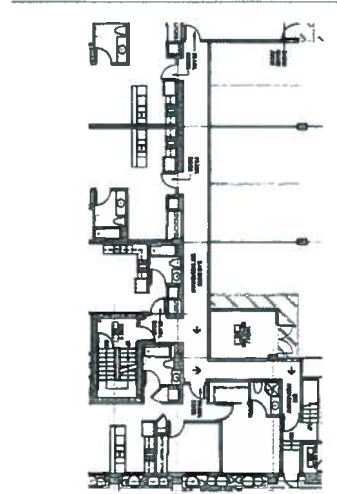
6. RESIDENTIAL ENTRY DOORS ALONG EAST PASSAGEWAY

THE PROPOSED BUILDING'S NORTH VERTICAL EXIT ENCLOSURE STAIR #7 SHALL BE CHANGED THROUGH A RESIDENTIAL CORRIDOR AS PER PASSAGEWAY OBJECT TO BARRED WITH A 90-DEGREE RESISTANCE RATING CORRIDOR IN THE SAME FIRE RATING AS STAIR #2.

PLEASE COMMENT THAT THE RESIDENTIAL UNIT ENTRY DOORS WITH 90 DEGREE OPENING ARE ACCEPTABLE PER CBC SEC. 1024.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
Provide on east passageway of location (ground floor) with direct access to grade.

RESPONSE TO DRAWINGS BASED ON DATED RESPONSE
The corridor of the ground floor shall be on east passageway with 2' fire rated construction. Also, a 90-degree door has been added to separate the lobby. Please see plan below.



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3. ELEVATOR LOBBY REQUIREMENTS

THE PROPOSED BUILDING DOES NOT INCLUDE OCCUPIED FLOORS LOCATED MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. THEREFORE, THE PROPOSED BUILDING DOES NOT REQUIRE ELEVATOR LOBBIES AT ALL LEVELS.

PLEASE COMMENT THAT BASED ON THE ALLOWANCES INCLUDED IN SECTION 4 TO CBC SECTION 707.14.1, THE ELEVATOR LOBBIES ARE NOT REQUIRED TO MAINTAIN THE REQUIRED SWIFT/CORRIDOR SEPARATION.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
Based on exception 1 and 2 (last sentence) of sec. 707.14.1, elevator lobbies are not required on all the floors to separate the elevator shaft from the corridor.

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DATED RESPONSE

4. EMERGENCY ESCAPE

THE PROPOSED BUILDING HAS RESIDENTIAL UNITS ON THE SECOND AND THIRD FLOORS WHICH ARE REQUIRED TO HAVE RESCUE WINDOWS IN THE RESCUE. THE DIRECTLY LOBBY ACCESSIBLE FROM THAT BEAN YARD WHICH CAN BE ACCESSED VIA AN EXISTING STAIR AND EXIT DOOR FROM ADAMS STREET.

PLEASE COMMENT THAT THE LOBBY ACCESS TO THE RESCUE WINDOWS FROM THE BEAN YARD IS ACCEPTABLE PER CBC SEC. 1020.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
DB and/or STFD Agree.

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DATED RESPONSE

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7. COMMON OPEN SPACES

THE PROPOSED BUILDING HAS A BEAN YARD COMMON OPEN SPACE ON THE WEST SIDE, AS WELL AS, A COMMON OPEN SPACE ON THE ROOF LEVEL. THESE COMMON OPEN SPACES WILL ONLY BE USED BY THE BUILDING RESIDENTS.

PLEASE COMMENT THAT BOTH THE BEAN YARD AND ROOF COMMON OPEN SPACES ARE ASSEMBLY AREAS UNDER THE A-3 OCCUPANCY TYPE WITH AN OCCUPANT LOAD FACTOR OF 15 PER CBC SEC. 300.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
The new roof and roof common open spaces shall not be labeled as assembly areas or 'A' occupancy. Regardless, the maximum floor area occupancy per occupied floor shall be 15 sq ft per occupancy.

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DATED RESPONSE

8. BEAN YARD DECK

THE BEAN YARD COMMON OPEN SPACE OF THE PROPOSED BUILDING HAS AN AREA OF 5,175 SQUARE FEET. THE BEAN YARD COMMON OPEN SPACE WITH AN OCCUPANT LOAD FACTOR OF 15, THIS BEAN YARD COMMON OPEN SPACE HAS A TOTAL OCCUPANT OF 345. HENCE, THE OCCUPANTS IN THIS SPACE IS BEING PROVIDED WITH TWO EXITS, ONE THROUGH THE RESIDENTIAL CORRIDOR, THE OTHER THROUGH AN EXISTING STAIR THAT LEADS TO THE EXIT PASSAGEWAY ON THE GROUND FLOOR AND DISCHARGES TO BEAN STREET.

PLEASE COMMENT THAT THE EXIT ARRANGEMENT IS ACCEPTABLE AND SECONDARY THAT THE DECK WIDTHS ARE SUFFICIENT PER CBC SEC. 1015.7 AND SEC. 1005 RESPECTIVELY.

RESPONSE FROM DBI AND/OR STFD ON MARCH 30, 2010 PRE-APPLICATION MEETING
The new roof common open space shall not be labeled as assembly areas or 'A' occupancy. The new roof common open space shall be labeled as 15 ft per occupant. DB and/or STFD agree with both exit arrangement and deck widths as shown.

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DATED RESPONSE

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Table with columns for date and description: 10/27/14 UN MARKING APPROVAL, 11/25/14 SITE REVIEW RESPONSE 2

CONSTRUCTION DOCUMENTS

JOB NUMBER: 07954
DATE: 1/29/2015
SCALE: 1" = 1'-0"
SHEET TITLE: PRE-APPLICATION MEETING MINUTES
SHEET NUMBER: A001

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9. NON-ACCESSIBLE DOOR AT EXTERIOR WALLS
IN THE PROPOSED BUILDING ABOVE THE GROUND FLOOR, SOME RESIDENTIAL UNITS FACING THE STREETS AND SOME TOWNHOMES DOORS THAT OPEN TO A SPACE LESS THAN 36" DEEP MAY BE PROVIDED WITH 1/2" HIGH DOOR THRESHOLS.
PLEASE CONFIRM THAT SINCE THE SPACE IS LESS THAN 36" DEEP, THESE SPACES ARE NOT REQUIRED TO BE ACCESSIBLE PER CBC SEC. 1107A1.1 AND 1107A1.4 AND SEC. 1172A.

RESPONSE FROM DAN AND/OR STEVE ON MARCH 30, 2010 PRE-APPLICATION MEETING
The floor of landing on each side of an exterior residential door shall comply with Sec. 11720.4, 4.8.3.4, 4.8.3.6, 4.8.3.7, 4.8.3.8 or Sec. 1107A.1.1 and 1107A.1.4 and shall be in accordance with the DBR memorandum by Jim Hutchinson dated Jan. 27, 2005 regarding disabled access to balconies and decks.
NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DISCREPANT RESPONSE

10. NON-ACCESSIBLE SECURITY GATES AT STREET-FACING DECK

THE PROPOSED PROJECT HAS RESIDENTIAL UNITS ON THE GROUND FLOOR LEVEL THAT HAVE PRIVATE DECKS FACING THE STREET. THESE DECKS MAY BE ACCESSIBLE FROM THE GROUND LEVEL BY A STAIRWAY. THESE STAIRWAYS MAY BE PROVIDED WITH A FEW STEPS DOWN TO THE SIDEWALK. THESE GATES DO NOT SERVE AS PART OF THE MEANS OF EGRESS FROM THE RESIDENTIAL UNITS. THE PROJECT SPONSOR WISHES TO PROVIDE 36" WIDE BY 48" HIGH SECURITY GATES THAT SWING TOWARDS THE DECK.

PLEASE CONFIRM PER CBC SEC. 1172.4 THAT THE SECURITY GATES DO NOT REQUIRE A LEVEL FLOOR LANDING ON EITHER SIDE OF THE GATE, SPECIFICALLY OPPOSITE OF THE SWING SIDE WHERE THE STAIRS ARE.

RESPONSE FROM DAN AND/OR STEVE ON MARCH 30, 2010 PRE-APPLICATION MEETING

DB and/or STFD agree as long as the security gates swing only one way

NO RESPONSE TO THE DRAWINGS ARE REQUIRED BASED ON DISCREPANT RESPONSE

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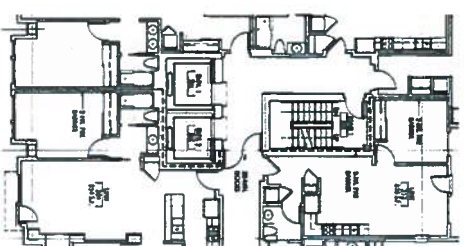
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B. AREAS OF REFUGE ARE NOT REQUIRED IN AREAS ACCESSED THROUGH HORIZONTAL STAIRS PER SEC. 1007.2.

RESPONSE FROM DAN AND/OR STEVE ON MARCH 30, 2010 PRE-APPLICATION MEETING
See DBR Building Code Interpretation (Figure 01-6) on Accessibility Memo of Figure dated July 21, 2009 (copy provided by DBR of meeting)

RESPONSE TO DRAWINGS BASED ON DISCREPANT RESPONSE

A pair of cross corridor doors has been added near the elevator door area. In addition, 2 1/4" Fire Borders complying with Sec. 705 wall separations have been added. Please see typical plan below.



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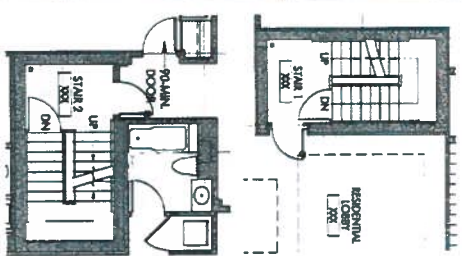
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11. ADDITIONAL ISSUES AND ITEMS DISCUSSED IN THE MEETING NOT IN THE ORIGINAL LIST OF CONDITIONS FOR DBR AND STFD:

A. PROVIDE STAIR BARRIERS AT THE LEVEL OF EXIT RECHARGER PER SEC. 1020.1.5.

RESPONSE TO DRAWINGS BASED ON DISCREPANT RESPONSE

An approved stair barrier has been added to each of the exit stairs on the Ground Floor level. Please see plans below.



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1014 Howard Street
San Francisco, CA
94103
T 415.252.7063
F 415.252.7060
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ACCEPTED BY:

[Signature]
Werner H. Schmidt, AIA
Principal
SF DBR Building Form Evaluator

4/29/10
Date

ACCEPTED BY: WATH EQUIPMENT ON

1/28/10

[Signature]
SF DBR Building Form Evaluator

4/13/10
Date



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SOUTH
VAN NESS
AVENUE

SAN FRANCISCO, CA 94103
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The architecture office of Werner Schmidt

1014 Howard Street San Francisco, CA 94103
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| 10.02.14 | 10A PLANNING APPROVAL |
| 11.25.14 | SITE REVIEW REVISION 2 |
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CONSTRUCTION DOCUMENTS
JOB NUMBER: 09004 DRAWN BY: WATH
DATE: 1/29/2015 CHECKED BY: WS
SCALE: 1" = 1'-0"
SHEET TITLE: PRE-APPLICATION MEETING MINUTES
SHEET NUMBER: A002

Green Building: Site Permit Submittal

BASIC INFORMATION:
These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

| | | | | | |
|--|--------------------|-------------------|--------------------|---------------------------|---------------------------|
| Project Name | 490 SOUTH VAN NESS | Block/Lot | BLOCK 3553 / LOT 8 | Address | 490 SOUTH VAN NESS AVENUE |
| Gross Project Area | 91,121 SF | Primary Occupancy | R-2 | Number of occupied floors | 9 |
| Design Professional/Applicant: Sign & Date | WARNER SCHMALZ | | | | |

Instructions:
As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply. AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

ALL PROJECTS, AS APPLICABLE

| | |
|---|---|
| Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. | ● |
| Stormwater Control Plan: Projects disturbing 25,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines | ● |
| Water Efficient Irrigation - Projects that include 2 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance. | ● |
| Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance | ● |
| Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details. | ● |

GREENPOINT RATED PROJECTS

| | |
|---|----|
| Proposing a GreenPoint Rated Project (Indicate at right by checking the box.) | |
| Base number of required Greenpoints: | 75 |
| Adjustment for retention / demolition of historic features / building: | |
| Final number of required points (base number +/- adjustment) | |
| GreenPoint Rated (i.e. meets all prerequisites) | ● |
| Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013). | ● |
| Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system) | ● |

Notes

- 1) New residential projects of 4 or more occupied floors must use the 'New Residential High-Rise' column. New residential with 3 or fewer occupied floors must use the 'New Residential Low-Rise' column.
- 2) LEED for Homes Mid-Rise projects must meet the 'Silver' standard including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LEED PROJECTS

| Type of Project Proposed (Indicate at right) | New Large Commercial | New Low-Rise Residential | New High-Rise Residential | Large First-Time Commercial Interior | Commercial Major Alteration | Residential Major Alteration |
|--|----------------------|--------------------------|---------------------------|--------------------------------------|-----------------------------|------------------------------|
| Overall Requirements: | | | | | | |
| LEED certification level (includes prerequisites): | GOLD | SILVER | SILVER | GOLD | GOLD | GOLD |
| Base number of required points: | 60 | 2 | 50 | 60 | 60 | 60 |
| Adjustment for retention / demolition of historic features / building: | | | | n/a | | |
| Final number of required points (base number +/- adjustment) | | | | | | |

Specific Requirements: (n/r indicates a measure is not required)

| | | | | | | |
|---|-----|------------------------|------------------|------------------|---|------------------|
| Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points | ● | ● | ● | ● | ● | ● |
| Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED minimum energy performance (LEED EA p2) | ● | LEED prerequisite | ● | ● | LEED prerequisite only | ● |
| Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site 21% of total annual energy cost (LEED EA c2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA c5) | ● | n/r | n/r | n/r | n/r | n/r |
| Enhanced Commissioning of Building Energy Systems LEED EA 3 | ● | Meet LEED prerequisite | ● | ● | Meet LEED prerequisite | ● |
| Water Use - 30% Reduction LEED WE 3, 2 points | ● | n/r | n/r | ● | ● | n/r |
| Enhanced Refrigerant Management LEED EA 4 | ● | n/r | n/r | ● | ● | n/r |
| Indoor Air Quality Management Plan LEED IEQ 3.1 | ● | CalGreen 4.504.1 | CalGreen 4.504.1 | CalGreen 5.504.3 | CalGreen 5.504.3 | CalGreen 4.504.1 |
| Low-Emitting Materials LEED EQ 4.1, 4.2, 4.3, and 4.4 | ● | ● | ● | ● | ● | ● |
| Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2 | ● | ● | ● | ● | ● | ● |
| Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. | ● | ● | ● | ● | ● | ● |
| Water Meters: Provide submeters for spaces projected to consume more than 1,000 gpd/day, or more than 100 gpd/day if in building over 50,000 sq. ft. | ● | n/r | n/r | ● | ● (addition only) | n/r |
| Air Filtration: Provide at least MERV-4 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5) | ● | n/r | n/r | ● | ● | n/r |
| Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 36 and SF Building Code 1203.5) | n/r | ● | ● | n/r | n/r | ● |
| Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40 | ● | ● | ● | ● | ● (envelope alteration & addition only) | n/r |

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

| Type of Project Proposed (Check box if applicable) | Other New Non-Residential | Addition OR Alteration |
|---|---------------------------|---|
| Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after.³ | | |
| Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013). | ● | ● |
| Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSC4.2) | ● | ● |
| Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles approximately 8% of total spaces. | ● | ● |
| Water Meters: Provide submeters for spaces projected to consume >1,000 gpd/day or >100 gpd/day if in buildings over 50,000 sq. ft. | ● | ● Addition only |
| Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash basins, water closets, and urinals. | ● | ● |
| Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements OR for buildings less than 10,000 square feet, testing and adjusting of systems is required. | ● | ● (Testing & Balancing) |
| Protect duct openings and mechanical equipment during construction | ● | ● |
| Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives | ● | ● |
| Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. | ● | ● |
| Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools (CHPS) criteria and certified under the Resident Floor Covering Institute (RFCI) FloorScore program. AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content. | ● | ● |
| Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood | ● | ● |
| Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resident Floor Covering Institute (RFCI) FloorScore program. | ● | ● |
| Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows | ● | ● |
| Air Filtration: Provide at least MERV-4 filters in regularly occupied spaces of mechanically ventilated buildings | ● | ● |
| Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40 | ● | ● (envelope alteration & addition only) |
| CFCs and Halons: Do not install equipment that contains CFCs or Halons. | ● | ● |
| Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet | | |
| Construction Waste Management - 75% Diversion of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance. | ● | ● Meet CAD ordinance only |
| Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to 21% of total annual energy cost (LEED EA c2). OR Demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013). OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA c5) | ● | ● n/r |

490 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
FORUM DESIGN
ARCHITECTS
The architecture office of Warner Schmalz

1014 Howard Street San Francisco, CA 94103
F 415. 252.9020 T 415. 252.7063

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|----------|--------------------------|
| 10.02.14 | DATE PUBLISHING APPROVAL |
| 11.25.14 | SITE REVISION RESPONSE 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09094
DATE: 9
SCALE:
SHEET NUMBER: GREEN BUILDING - SITE PERMIT CHECKLIST
DRAWN BY:
CHECKED BY: WS

A003

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

RECORDING REQUESTED BY:
And When Recorded Mail To:
Name: JCI Developers
Address: 630 Terasal Street
City: San Francisco
State: California Zip: 94115

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

JCI Developers, LLC, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows: (or see attached sheet marked 'Exhibit A' on which property is more fully described):

BEING ASSESSOR'S BLOCK: 3553, LOT(S): 008
COMMONLY KNOWN AS: 490 South Van Ness Avenue

Said restrictions consist of conditions attached to the Office Allocation Application No. 2010.0043X approved by the Planning Commission of the City and County of San Francisco on October 2, 2014, as set forth in Planning Commission Motion No. 19250

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Mitigation Measure. Mitigation measures described in the MAPD for the Eastern Neighborhoods Plan EIR (Case No. 2010.0043X) and EIR, Exhibit A, are hereby agreed to by the project sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-556-6863, www.sfdemreg.org

DESIGN - compliance at plan stage
Design Refinement. The Project Sponsor shall continue to work with Planning Department on simplification of the building design, including the fenestration, color and materials.
For information about compliance, contact the Case Planner, Planning Department at 415-556-6378, www.sfdemreg.org

Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing color, window units and other architectural details shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415-556-6378, www.sfdemreg.org

Street Trees. Pursuant to Planning Code Section 1381.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species per 100 square feet of impervious surface, shall be provided along public or private streets bounding the Project, with any remaining fraction of 10 being rounded up.
For information about compliance, contact the Case Planner, Planning Department at 415-556-6378, www.sfdemreg.org

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

AUTHORIZATION
This authorization is for a Large Project Authorization to allow for the new construction of a seven-story residential building with 72 dwelling units and ground floor commercial space, and a modification to the requirements for new yard permitted developments over the street dwelling unit exposure and accessory use provisions for dwelling units located at 490 South Van Ness Street, Unit 100 in Assessor's Block 3553 pursuant to Planning Code Section 329 within the Urban Design Element (UDE) No. 2010.0043X, dated September 25, 2014, and amended 12/18/11, B' 2014, as set forth in the document with plans dated September 25, 2014, and amended 12/18/11, B' 2014, in the document for Case No. 2010.0043X, and subject to conditions of approval reviewed and approved by the Commission on October 2, 2014 under Motion No. 19250. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recommendation of conditions of approval
Prior to the issuance of the building permit or commencement of use for the Project, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Record of the City and County of San Francisco for the subject property. The Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 2, 2014 under Motion No. 19250

Printing of conditions of approval on plans
The conditions of approval under the Exhibit A of this Planning Commission Motion No. 19250 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

Severability
This Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is found to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. Project Sponsor shall include any subsequent responsible party.

Changes and Modifications
Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant modifications or conditions shall require Planning Commission approval of a new authorization.
Page 2 of 13

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Garage, Composting and Recycling Storage. Space for the collection and storage of
Page 4 of 13

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Conditions of Approval, Compliance, Monitoring, and Reporting
Performance
Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of the Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decide to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the renovation of the Authorization. Should the Commission not revoke the Authorization following the occurrence of the expiration, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Expansion. All new limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator when implementation of the project is deemed to be in the public interest or a legal challenge and only by the length of time for which such public agency appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org
Page 3 of 13

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

For information about compliance, contact San Francisco Municipal Railway (MUNI) San Francisco Municipal Transit Agency (SMTA), at 415-701-6500, www.sfmta.org
Notes, Ambient. Interior occupiable spaces shall be insulated from ambient noise levels. Specifically, in areas identified by the Environmental Protection Element, Map 1, "Background Noise Levels," of the General Plan that exceed the thresholds of Article 28 in the Public Code, new developments shall install and maintain glazing rated to a level that insulate interior occupiable areas from Background Noise and comply with Title 24.
For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 225-3900, www.sfdph.org

Parking and Traffic
Unsubsidized Parking. All off-street parking spaces shall be made available to Project residents only as a separate section option for purchase or rent and shall not be bundled with any Project dwelling unit for the sale of the dwelling units. The required parking spaces may be made available to Project residents only as a separate section option for purchase or rent and shall not be bundled with any Project dwelling unit.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Parking Maintenance. Pursuant to Planning Code Section 151.1, the Project shall provide no more than all off-street parking spaces for the 72 dwelling units for 86 off-street parking spaces for each dwelling unit) contained therein.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Car Share. Pursuant to Planning Code Section 169, no fewer than one (1) car share space shall be made available at no cost, to a certified car share organization for the purpose of providing car share services for its service subscribers.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfdemreg.org

Bicycle Parking. Pursuant to Planning Code Sections 155.2, the Project shall provide no fewer than 72 Class 1 bicycle parking spaces and 3 Class 2 bicycle parking spaces
Page 6 of 13

490

SOUTH VAN NESS AVENUE

SAN FRANCISCO, CA 94103

FORUM DESIGN ARCHITECTS

The architecture office of Werner Schmitz

1014 Howard Street San Francisco, CA 94103
P 415. 252.9020 T 415. 252.7063

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Table with 2 columns: DATE, CHECKED BY. Row 1: 1/29/2015, WS

CONSTRUCTION DOCUMENTS

JOH NUMBER: DRAWN BY:
DATE: CHECKED BY:
SCALE: WS
SHEET TITLE: NOTICE OF SPECIAL RESTRICTIONS

SHEET NUMBER: A004.0

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6853, www.sfdemolition.com
Managing Traffic During Construction. The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SMTA)...

Transit Impact Development Fee. Pursuant to Planning Code Section 411, the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as defined in the Ordinance on certificates of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 527), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

Monitoring. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 178.1. The Planning Department may also refer the violation complaints

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Development at 415-701-5500, www.sfdemolition.com.
3. Unit Location. The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

4. Phasing. If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than sixteen percent (16%) of the each phase's total number of dwelling units as on-site affordable units. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

5. Duration. Under Planning Code Section 415.6, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

6. Other Conditions. The Project is subject to the requirements of the Incineratory Affordable Housing Program under Section 415.6 of the Planning Code and City and County of San Francisco Incineratory Affordable Housing Program Monitoring and Procedures Manual (Procedures Manual). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415.7. Terms used in these conditions of approval and as defined in the Procedures Manual shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing and Community Development's website, including on the internet at: http://www.sfdemolition.com/DocumentCenter/View/Document/14451.

As provided in the Incineratory Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available to sale. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6853, www.sfdemolition.com.
Reversion Due to Violation of Conditions. Should implementation of this Project result in a violation of any of the conditions of approval, the Project Sponsor shall be deemed to have accepted the specific conditions of approval for the Project as set forth in Exhibit A of this Motion. The Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

Operation. Garbage, Recycling, and Composting Responsibilities. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside the premises only at the times and in the manner specified in the Procedures Manual. For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, www.sfdemolition.com.

Signage. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-554-5810, www.sfdemolition.com.

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall designate a community liaison to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the community liaison change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor. For information about compliance, contact Code Enforcement, Planning Department at 415-575-6853, www.sfdemolition.com.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy, and marketed no later than the market rate units, and (3) be evenly distributed throughout the building, and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long as the item is of good and new quality and is consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.

b. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average of ninety (90) percent of Area Median Income under the income table called "Maximum Income by Household Size" derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco. The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) marketing, (ii) marketing, (iii) occupying capital improvements, (iv) refinancing, and (v) procedures for inheritance apply, and are set forth in the Incineratory Affordable Housing Program and the Procedures Manual.

c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for reviewing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least 60 days prior to the beginning of marketing for any unit in the building.

d. Required parking spaces shall be made available to retail buyers or renters of affordable units according to the Procedures Manual.
e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the Property that contains the conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.

Page 11 of 13

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Lighting. All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Negative lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property. For information about compliance, contact Code Enforcement, Planning Department at 415-575-6853, www.sfdemolition.com.
INCLUSIONARY AFFORDABLE HOUSING. Eastern Neighborhoods Affordable Housing Requirements for UHUI. Pursuant to Planning Code Section 418.3, Project Sponsor shall meet the requirements set forth in Planning Code Section 418.3 in addition to the requirements set forth in the Affordable Housing Program, per the provisions of the Ordinance described in Section 418.3 of the Planning Code. The Project Sponsor shall select one of the options described in Section 418.3 of the Planning Code for inclusion in Planning Code Section 418.5 to limit the affordable housing requirements and notify the Department of their choice. Any fee required by Section 419.1 et seq. shall be paid to the Department of their choice. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

Affordable Units.
1. Number of Required Units. Pursuant to Planning Code Section 415.6 and 419.3, the Project is required to provide 18% of the proposed dwelling units as affordable to qualifying households. The Project contains 72 units, therefore, 12 affordable units are required. The Project Sponsor will fulfill this requirement by providing the 12 affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development (MOHCD). For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

2. Unit Mix. The Project contains 28 one-bedroom and 43 two-bedroom units. Therefore, the required affordable unit mix is 5 one-bedroom and 7 two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfdemolition.com or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfdemolition.com.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

1. The Project Sponsor has demonstrated that it is eligible for the On-Site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Incineratory Affordable Housing Fee, and has submitted the Affidavit of Compliance with the Incineratory Affordable Housing Program. Planning Code Section 415 to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.
2. If the Project Sponsor fails to comply with the Incineratory Affordable Housing Program requirements, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.

h. If the Project becomes ineligible at any time for the On-Site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit or may seek a fee deferral as permitted under Ordinances 0107-10 and 0108-10. If the Project becomes ineligible after issuance of the first construction permit, the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee.

i. The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Record by the Zoning Administrator of the City and County of San Francisco, except that in the event that the zoning standards shown are modified so as to be less restrictive and the uses therein restricted are thereby permitted and in compliance with the provisions of the Planning Code. This document would no longer be in effect and would be null and void.

Date: November 19, 2014 at San Francisco, California.
(Signature) [Signature] (Print Name) Peter Raughton
Date: _____ at _____, California.
(Signature) _____ (Print Name) _____

Page 12 of 13

490 SOUTH VAN NESS AVENUE SAN FRANCISCO, CA 94103 FORUM DESIGN ARCHITECTS The architect's office of Werner Schmitt

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Professional seal and signature of Peter Raughton, Licensed Professional Architect No. 09954, State of California.

Table with 2 columns: I.D.B.I. #, DATE REVISION. Row 1: 112314, SHEET REVISION 2.

CONSTRUCTION DOCUMENTS JOB NUMBER: DRAWN BY: DATE: 1/29/2015 CHECKED BY: WS SCALE: 1"=1'-0" SHEET TITLE: NOTICE OF SPECIAL RESTRICTIONS SHEET NUMBER: A004.1

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

(Month, Day) (City) (Print Name) (Month, Day) at (City) California.

Each signature must be acknowledged by a notary public before recording, and Notary Public Certification(s) and Official Notarial Seal(s) below.

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

STATE OF California before me, Cathy Bryant, Notary Public, personally appeared [Name] who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) appear subscribed to the within instrument, and acknowledged to me that he or she (or they) executed the same for the purposes and consideration therein expressed.



OPTIONAL SECTION - NOT PART OF NOTARY ACKNOWLEDGEMENT CAPACITY CLAIMED BY SIGNER

Though statute does not require the Notary to fill in the data below, doing so may prove invaluable to persons relying on the documents.
INDIVIDUAL
CORPORATE OFFICER(S), TITLE(S)
PARTNER(S)
LIMITED
ATTORNEY-IN-FACT
TRUSTEE(S)
GUARDIAN/CONSERVATOR
OTHER

OPTIONAL SECTION - NOT PART OF NOTARY ACKNOWLEDGEMENT
Though the data requested here is not required by law, it could prevent fraudulent reattachment of this form.
THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED BELOW
TITLE OR TYPE OF DOCUMENT:
DATE OF DOCUMENT:
NUMBER OF PAGES:
SIGNER(S) OTHER THAN NAMED ABOVE:

EXHIBIT "A"

Real property in the City of San Francisco, County of San Francisco, State of California, described as follows:
BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF 16TH STREET AND THE WESTERLY LINE OF SOUTH VAN NESS AVENUE; RUNNING THENCE NORTHERLY ALONG SAID LINE OF SOUTH VAN NESS AVENUE 150 FEET TO THE SOUTHERLY LINE OF ADAIR STREET; THENCE AT A RIGHT ANGLE WESTERLY ALONG SAID LINE OF ADAIR STREET 95 FEET; THENCE AT A RIGHT ANGLE SOUTHERLY 190 FEET TO THE NORTHERLY LINE OF 16TH STREET; THENCE AT A RIGHT ANGLE EASTERLY ALONG THE LAST MENTIONED LINE 95 FEET TO THE POINT OF BEGINNING.
BEING A PORTION OF MISSION BLOCK NO. 34.

APN: LOT 008, BLOCK 3553

490 SOUTH VAN NESS AVENUE SAN FRANCISCO, CA 94103
FORUM DESIGN ARCHITECTS
The architecture office of Warner Schmitz

10114 Howard Street San Francisco, CA 94103
F 415 252.1020 T 415 252.7063

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Table with 2 columns: Date, Description. Row 1: 10.22.14, IA MARKING APPROVAL. Row 2: 11.25.14, SITE PLAN REVISION 2.

CONSTRUCTION DOCUMENTS
JOB NUMBER: 09004 DRAWN BY:
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 1/4" = 1'-0"
SHEET TITLE: NOTICE OF SPECIAL RESTRICTION
SHEET NUMBER: A004.2

WALSH • NORRIS & ASSOCIATES, INC. ARCHITECTURAL ACoustICS



Mr. Maurice Cary, JCN Development LLC, 630 Tarned Street, San Francisco, CA 94116

Subject: Acoustical Evaluation, Exterior Noise Report

Summarized below is an acoustical evaluation for the residential project at 490 South Van Ness Avenue. The purpose of this evaluation is to determine compliance with the requirements of both the California Building Code (Title 24 - Sections 1207.11 to 1212) and the City of San Francisco regarding sound isolation required for the exterior shell of existing buildings. These measurements are based on our review of the permit set of drawings for the project prepared by Forum Design Architects.

PROJECT INFORMATION: This site is located on the west side of South Van Ness Avenue, between 16th and Adair Streets, i.e., at the corner of South Van Ness Avenue and 16th Street. The project consists of 84 residential units on seven floors. The Basement and Ground Floor levels contain parking with residential units on the floors above.

The new building is located adjacent to two existing four-story masonry/concrete structures along the property line on the west. On the north side, across Adair Street, the existing building is a four-story wood frame structure.

GENERAL INFORMATION ON ENVIRONMENTAL NOISE: The standard method used to quantify environmental noise involves evaluation of the sound with an adjustment to reflect the fact that human hearing is less sensitive to lower sound frequencies than to the mid and high frequencies. This measurement adjustment is called "A-weighting" and the data are reported as A-weighted sound levels (dBA). The A-weighting factor causes the measurement instrument to respond to noise in a manner closely correlated with the response of the average person. Community noise is always measured in A-weighted sound levels (dBA).

Environmental noise also fluctuates in level over time. Therefore time-averaged sound levels are used to quantify noise levels and determine noise impacts. The most commonly used environmental noise exposure descriptor is the annual Day-Evening-Night Average Sound Level (Ldn). The cumulative noise exposure at a site, in terms of Ldn, represents the steady noise level that contains the same total sound energy as the fluctuating community noise levels during an average 24-hour period, and is adjusted to account for the higher sensitivity of people to noise during the evening and nighttime periods.

Site and City codes require that the interior noise exposure level in any habitable space not exceed 45 dBA. To achieve this interior level requires that the exterior building shell (including walls, windows, doors, etc.) provide sufficient noise reduction.

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- 1 The existing noise exposure levels at the site were measured continuously over a seven-day period to determine compliance as required by California Building Code (Title 24 - Sections 1207.11 to 1212) and the City of San Francisco Building Code.
2 The codes require that the interior noise exposure level in any habitable space of the residential units not exceed 45 dBA from exterior noise sources. The site measurements and future projection for the site indicate that the exterior building shell must provide a minimum sound rating of STC 35 at those units with a view of either South Van Ness Avenue or 16th Street.
3 The building is located adjacent to existing four-story structures on the west and north sides. Because of the shading of these existing buildings and the orientation of the project building the minimum sound rating for the residential units facing the new yard open space is STC 30.
4 These minimum STC ratings are exceeded with the proposed exterior wall assembly indicated by Forum Design Architects. No special acoustical assemblies or modifications are required.
5 The sound rating of the windows at the habitable spaces of the residential units should also provide the minimum STC ratings indicated.
6 To allow the windows to be closed if desired, supplemental ventilation should be provided for the residential units.

Please call if you have any questions regarding the exterior noise exposure evaluation for this project.

Very truly yours, WALSH • NORRIS & ASSOCIATES, INC. David P. Walsh, P.E., M.A.S.A. Principal

cc: Werner Schmidt, Forum Design Architects

WALSH • NORRIS & ASSOCIATES, INC. ARCHITECTURAL ACoustICS

Acoustical Evaluation, Exterior Noise Report, 490 South Van Ness Avenue, San Francisco, CA

NOISE ENVIRONMENT AT SITE: MEASURED NOISE EXPOSURE: The primary noise source impacting this site is vehicular traffic. A noise survey was conducted over a seven-day period, from Tuesday (26 March) through Monday (1 April 2013). Three locations were used for the measurements:

- 1. At the SW corner of the site on 16th Street
2. At the NW corner of the site on Adair Street
3. At the NW corner of the site on Adair Street

The daily noise exposure levels measured at the site are tabulated below and also indicated on the attached Summary Sheet:

Table with columns: Measured Daily Noise Exposure Levels (Ldn), dBA, and Ave. dBA. Rows include Tuesday, Wednesday, Thursday, Friday, Saturday, Sunday, and Avg Level.

The time histories of the noise levels measured at the site over the seven-day period are plotted on the attached Figure 1, through 3, for the respective measurement periods.

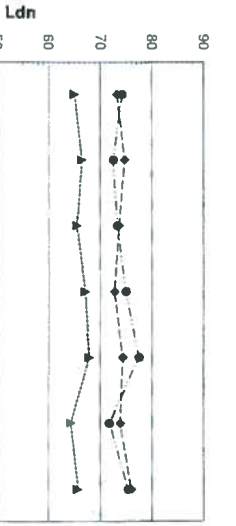
The standards require that potential future increases in noise levels due to increases in traffic volume be included in the noise exposure evaluation. The noise exposure increase typically used for this type of project is a 10% increase in traffic over a ten-year period. Based on this standard procedure we have projected a future noise exposure level impacting the building.

EXTENSION NOISE MITIGATION: The codes require that the interior noise exposure level in any habitable space of the residential units not exceed 45 dBA. To achieve this interior level requires that the exterior building shell provide a minimum Noise Reduction (NR) based on the exterior noise levels. Noise Reduction is not the same as the Sound Transmission Class (STC) rating. Based on the typical sound frequency spectrum of traffic noise, the minimum STC rating required for the building facade is STC 35 for those units with a view of South Van Ness or 16th Street. Due to orientation, shading, and distance from the major traffic sources, the sound isolation required for these residential units away from the major streets, i.e., facing the open space at the rear of the project, the minimum sound rating is STC 30. See the STC ratings indicated on the attached typical floor plan.

Now that these minimum recommended sound isolation ratings apply to the residential units at all floor levels, there is no significant noise reduction at the higher floors of this building. REVIEW OF EXTERIOR BUILDING ASSEMBLIES: Based on information provided by Forum Design Architects, the details of the exterior building assemblies have been evaluated to determine compliance with the minimum required sound isolation.

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Table with columns: Ldn, 16th St., S Van Ness Ave., Adair St. Rows include 3/26/13 Tue, 3/27/13 Wed, 3/28/13 Thu, 3/29/13 Fri, 3/30/13 Sat, 3/31/13 Sun, 4/1/13 Mon, and Avg.



Summary of Noise Exposure Measurements table with columns: Day, 16th St., S Van Ness Ave., Adair St.

Summary of Noise Exposure Measurements, 490 South Van Ness Avenue, San Francisco, CA

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Acoustical Evaluation, Exterior Noise Report, 490 South Van Ness Avenue, San Francisco, CA

EXTERIOR WALL: The exterior walls of the project consist of 6" masonry with ball insulation in the wall cavity. On the interior is a layer of 5/8" thick Type 'X' gypsum board. On the exterior is a layer of 5/8" thick DensGlas Cold Rypsum sheathing. The finish surface of the building consists of 'W' cement plaster.

The laboratory measured sound rating for this exterior wall assembly is STC >= 45. This sound rating exceeds the minimum requirement for sound isolation and no modifications are required.

Windows: Because the windows are a large percentage of the exterior wall of the residential units, it is recommended that they provide the minimum sound rating indicated on the typical floor plan, i.e., STC 35 for the units with a view of the streets or STC 30 for the units at the rear yard area.

The standards for the window units to be considered for this project should include a sound isolation test report from an independent acoustical testing laboratory. These tests must be for the specific window type proposed, i.e., glass type, window type, frame construction, etc., and indicate that the assembly meets or exceeds the required ratings.

Supplemental Ventilation: To achieve the minimum recommended sound rating for the building shell typical requirements for the minimum sound rating indicated on the typical floor plan, i.e., STC 35 for the units with a view of the streets or STC 30 for the units at the rear yard area, supplemental ventilation either forced air or passive air transfer, such as a through-wall ventilator unit, acoustically lined, etc., is required.

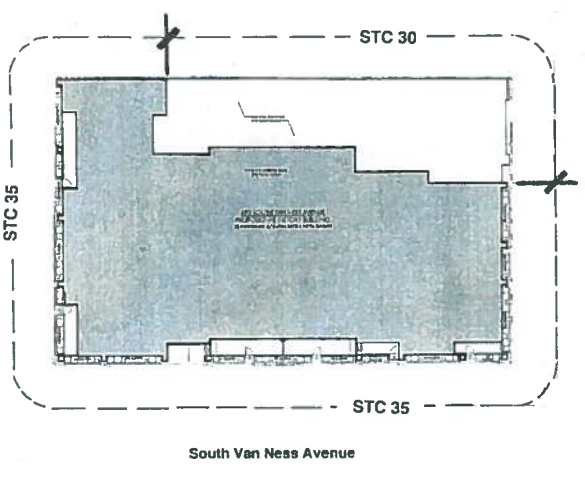
ADDITIONAL ACoustICAL INFORMATION: The above acoustical evaluation was completed to determine compliance with the requirements of the California Building Code (Title 24 - Sections 1207.11 to 1212) and the City of San Francisco Building Code (Title 24 - Sections 1207.11 to 1212) and the San Francisco Planning Department also requires additional information. This includes: (1) the listing of potential noise-generating uses within 900 feet of the project site and which have a direct line-of-sight to the site, and (2) 24-hour noise measurements that include a maximum noise level reading taken at least every 15 minutes. This information has also been included in this report.

Potential Noise-Generating Uses: The attached map plan is a satellite photo of the project site indicating potential noise-generating uses. The attached map plan is a satellite photo of the project site indicating potential noise-generating uses. The attached map plan is a satellite photo of the project site indicating potential noise-generating uses.

Maximum Noise Level Readings: For reference, maximum noise level data (Lmax) at 1.5-minute intervals for each 24-hour period of the entire seven-day measurement are also plotted on Figure 1, 1 through 3. Compliance of the minimum noise exposure levels are evaluated based on the Day-Evening-Night Average Sound Level (Ldn) as required by the building code.

SUMMARY: This site is located on the west side of South Van Ness Avenue, between 16th and Adair Streets, i.e., at the corner of South Van Ness Avenue and 16th Street. The major noise impact at this site is surface traffic on South Van Ness Avenue and 16th Street.

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Typical Floor Plan Minimum Sound Isolating Requirements for Residential Units, 490 South Van Ness Avenue, San Francisco, CA

490 SOUTH VAN NESS AVENUE SAN FRANCISCO, CA 94103 FORUM DESIGN ARCHITECTS The architect's office of Werner Schmidt



Table with columns: Job Number, Date, Scale, Sheet Title, Sheet Number. Values include 09004, 1/27/2015, 1/4", ACOUSTICAL REPORT, A008.

CONSTRUCTION DOCUMENTS DRAWN BY: 09004 CHECKED BY: M.S. DATE: 1/27/2015 SCALE: 1/4" SHEET TITLE: ACOUSTICAL REPORT SHEET NUMBER: A008

TYPICAL ACCESSIBILITY NOTES - FOR REFERENCE WHERE APPLICABLE

A. ACCESSIBLE ROUTE OF TRAVEL (DOORS & CORRIDORS)

1101.1 GENERAL: WITH A MINIMUM OF DELAY AND A MINIMUM OF OBSTRUCTION, THE ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING. ACCESSIBLE ROUTES SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL. ACCESSIBLE ROUTES SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

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1101.3 DOORS: DOORS SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

1101.4 CORRIDORS: CORRIDORS SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

B. PARKING

1101.1 GENERAL: ACCESSIBLE PARKING SPACES SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

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C. RAMPS

1101.1 GENERAL: ACCESSIBLE RAMPS SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

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D. STAIRWAYS

1101.1 GENERAL: ACCESSIBLE STAIRWAYS SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO: LOBBIES, RECEPTION AREAS, OFFICES, CONFERENCE ROOMS, RESTROOMS, ELEVATORS, ESCAPE ROUTES, AND OTHER AREAS WHERE THE PUBLIC IS REQUIRED TO TRAVEL.

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A R C H I T E C T S

The architecture office of Warner Schmidt

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CONSTRUCTION DOCUMENTS

A100

NOTES

| | |
|----------|-------------------------|
| 10/21/14 | VA MARKING APPROVAL |
| 11/25/14 | 5TH REVISION REVISION 2 |

JOB NUMBER: 07004

DATE: 1/29/2015

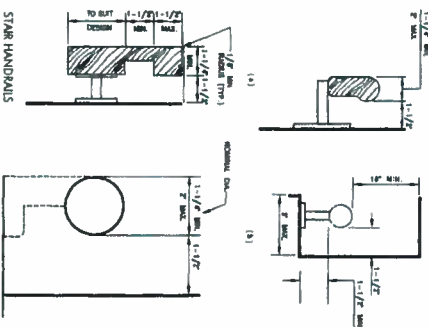
SCALE: 1/8" = 1'-0"

SHEET TITLE: ACCESSIBILITY DETAILS AND NOTES

SHEET NUMBER: A100

DRAWN BY: [Signature]

CHECKED BY: W.S.



STARWAY HANDRAILS

E. ELEVATORS

115A.1 GENERAL. ELEVATOR HOISTWAYS, ELEVATOR SHAFTS, AND ELEVATOR CARS SHALL BE ACCESSIBLE AND COMPLY WITH THE CODES AND REGULATIONS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (CALIFORNIA ACCESSIBILITY STANDARDS) AND THE CALIFORNIA DEPARTMENT OF SOCIAL SERVICES (CALIFORNIA ACCESSIBILITY STANDARDS).

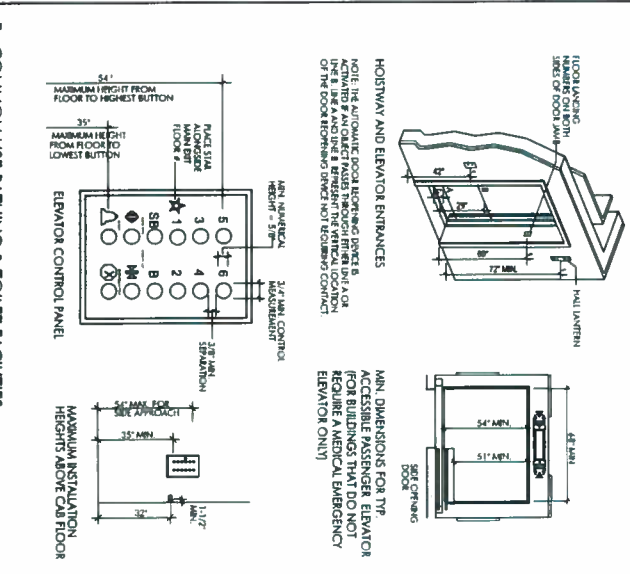
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2001.1 GENERAL. ELEVATOR HOISTWAYS, ELEVATOR SHAFTS, AND ELEVATOR CARS SHALL BE ACCESSIBLE AND COMPLY WITH THE CODES AND REGULATIONS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (CALIFORNIA ACCESSIBILITY STANDARDS) AND THE CALIFORNIA DEPARTMENT OF SOCIAL SERVICES (CALIFORNIA ACCESSIBILITY STANDARDS).

2001.2 GENERAL. ELEVATOR HOISTWAYS, ELEVATOR SHAFTS, AND ELEVATOR CARS SHALL BE ACCESSIBLE AND COMPLY WITH THE CODES AND REGULATIONS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (CALIFORNIA ACCESSIBILITY STANDARDS) AND THE CALIFORNIA DEPARTMENT OF SOCIAL SERVICES (CALIFORNIA ACCESSIBILITY STANDARDS).

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F. COMMON USE BATHING & TOILET FACILITIES

1118.1 GENERAL. COMMON USE BATHING AND TOILET FACILITIES SHALL BE ACCESSIBLE AND COMPLY WITH THE CODES AND REGULATIONS OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (CALIFORNIA ACCESSIBILITY STANDARDS) AND THE CALIFORNIA DEPARTMENT OF SOCIAL SERVICES (CALIFORNIA ACCESSIBILITY STANDARDS).

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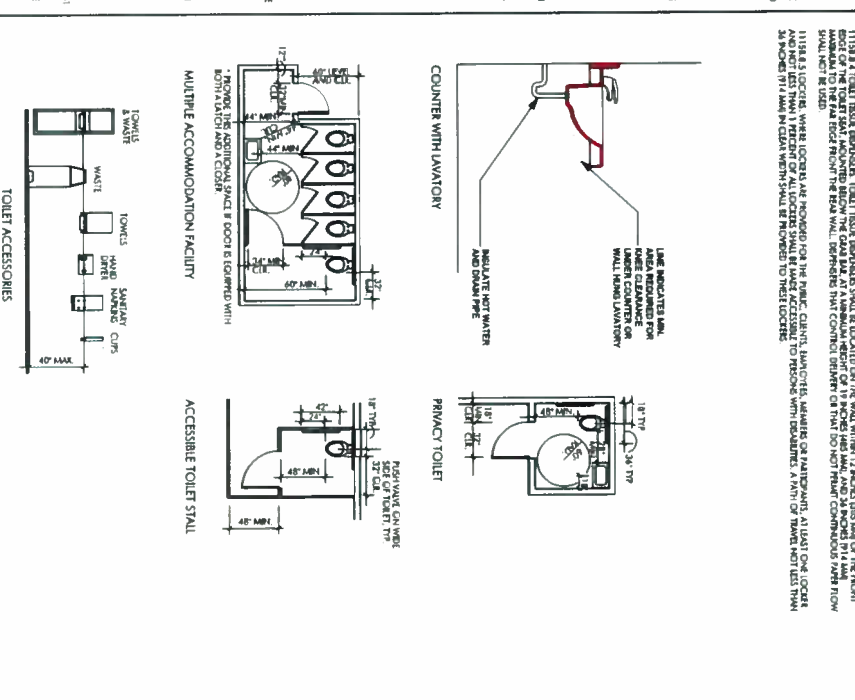
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TYPICAL ACCESSIBILITY NOTES - FOR REFERENCE WHERE APPLICABLE

490 SOUTH VAN NESS AVENUE
 SAN FRANCISCO, CA 94103

FORUM DESIGN
 ARCHITECTS
 The architect: re off • Warner Schmidt

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 415.252.9020 415.252.7035

CONSTRUCTION DOCUMENTS

JOB NUMBER: _____ DRAWN BY: _____

DATE: _____ CHECKED BY: _____

SCALE: _____

SHEET TITLE: **ACCESSIBILITY DETAILS AND NOTES**

SHEET NUMBER: **A101**

OCCUPANT SUMMARY:

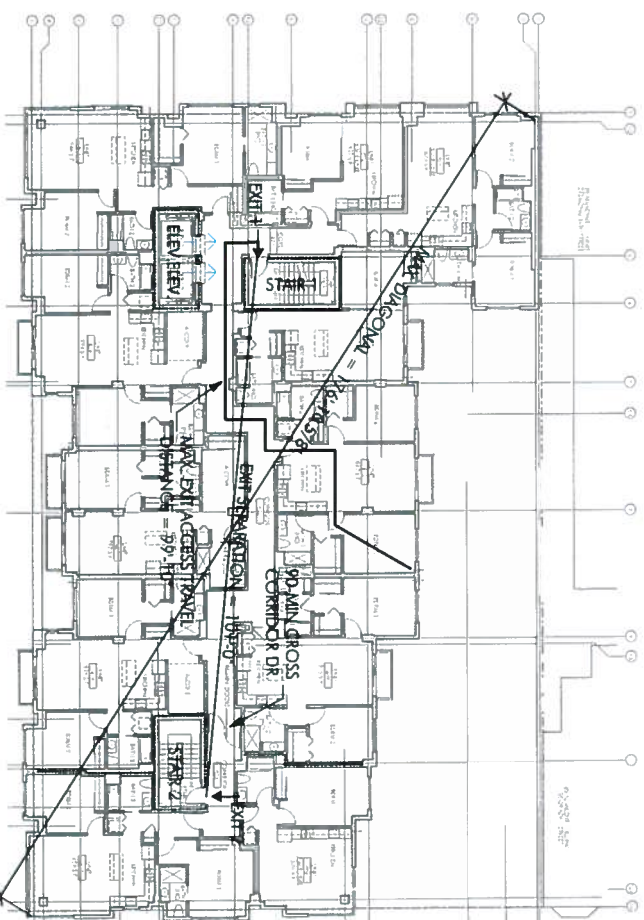
| LOCATION | OCCUPANT GROUP | GROSS AREA | OCCUPANT LOAD FACTOR | OCCUPANT LOAD | EXITS REQUIRED |
|---|----------------|---------------------------------|----------------------|---------------|----------------|
| THIRD, FOURTH & FIFTH FLOOR RESIDENTIAL UNITS | R-2 | FLOOR AREA RANGE FROM 10,841 SF | 200 SF | 54 | 2 |

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS FOR TYPE I-B BASED ON FIRE SEPARATION DISTANCE PER TABLE 602:

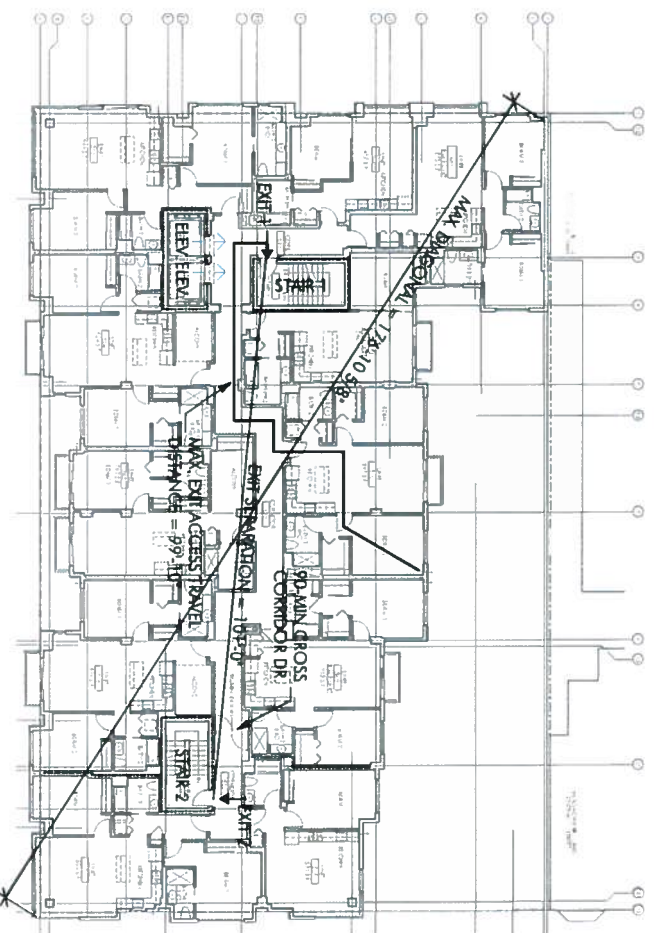
| FIRE SEPAR. DIST. | M OCCUPANCY | R-2 / S-2 OCCUPANCIES |
|-------------------|-------------|-----------------------|
| X < 5 | 2 HR. | 1 HR. |
| 5 ≤ X < 10 | 1 HR. | 1 HR. |
| 10 ≤ X < 30 | 1 HR. | 1 HR. |
| X ≥ 30 | 0 HR. | 0 HR. |

FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE I-B PER TABLE 601:

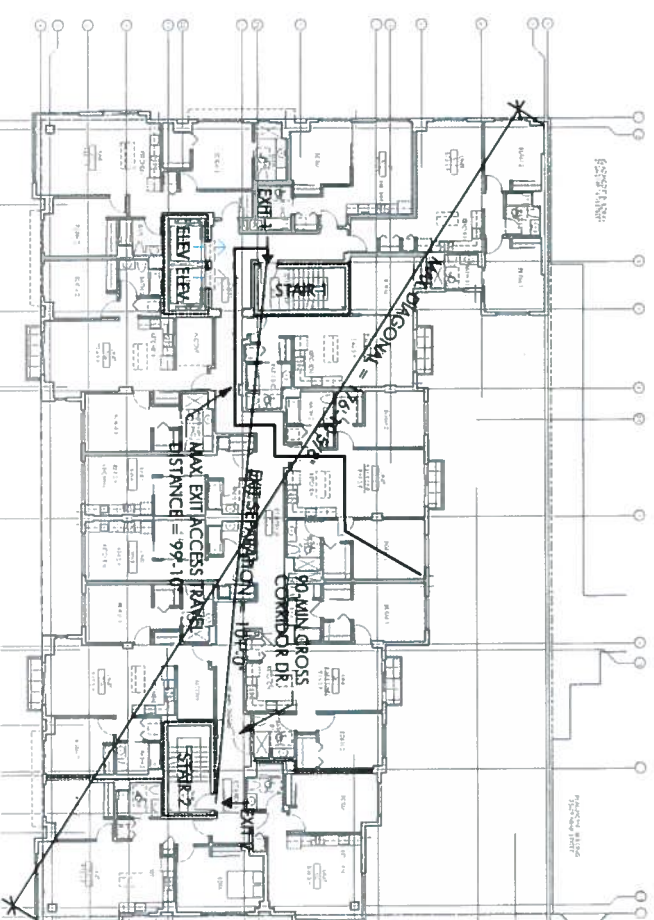
| STRUCTURAL FRAME | 2 HR. / |
|--|---------|
| 1 HR. ROOF SUPPORT | 2 HR. / |
| EXTERIOR BEARING WALLS | 2 HR. |
| INTERIOR BEARING WALLS | 2 HR. / |
| 1 HR. ROOF SUPPORT | 0 HR. |
| INTERIOR NONBEARING WALLS & PARTITIONS | 2 HR. |
| FLOOR CONSTRUCTION (BEAMS & JOISTS) | 1 HR. |
| ROOF CONSTRUCTION (BEAMS & JOISTS) | 2 HR. |
| SHAFT / STAIRWAY ENCLOSURES | 2 HR. |



2 | FOURTH FLOOR PLAN
1/16" = 1'-0"



3 | FIFTH FLOOR PLAN
1/16" = 1'-0"



1 | THIRD FLOOR PLAN
1/16" = 1'-0"

490
SOUTH
VAN NESS
AVENUE
SAN FRANCISCO, CA 94103

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ARCHITECTS
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| NO. | DATE | BY | DESCRIPTION |
|----------|------|----------------------|-------------|
| 10.02.14 | | UVA PUNNING AMORVA | |
| 11.25.14 | | SITE REVIEW BENSCHUZ | |

CONSTRUCTION DOCUMENTS

JOB NUMBER: DRAWN BY: W.S.
 DATE: 1/29/2015 CHECKED BY: W.S.
 SCALE: 3/32" = 1'-0", 1/16" = 1'-0"
 SHEET TITLE: EXITING / ADA PATH OF TRAVEL PLAN
 SHEET NUMBER: A104

OCCUPANT SUMMARY:

| LOCATION | OCCUPANT GROUP | GROSS AREA | OCCUPANT LOAD | FACTOR/OCCUPANT LOAD | EXITS REQUIRED |
|---------------------------------|----------------|------------|---------------|----------------------|----------------|
| SIXTH FLOOR RESIDENTIAL UNITS | R-2 | 11,009 SF | 200 SF | 55 | 2 |
| SEVENTH FLOOR RESIDENTIAL UNITS | R-2 | 10,965 SF | 200 SF | 54 | 2 |
| ROOF ROOF DECK | R-2 | 6,025 SF | 15 SF | 401 | 2 |

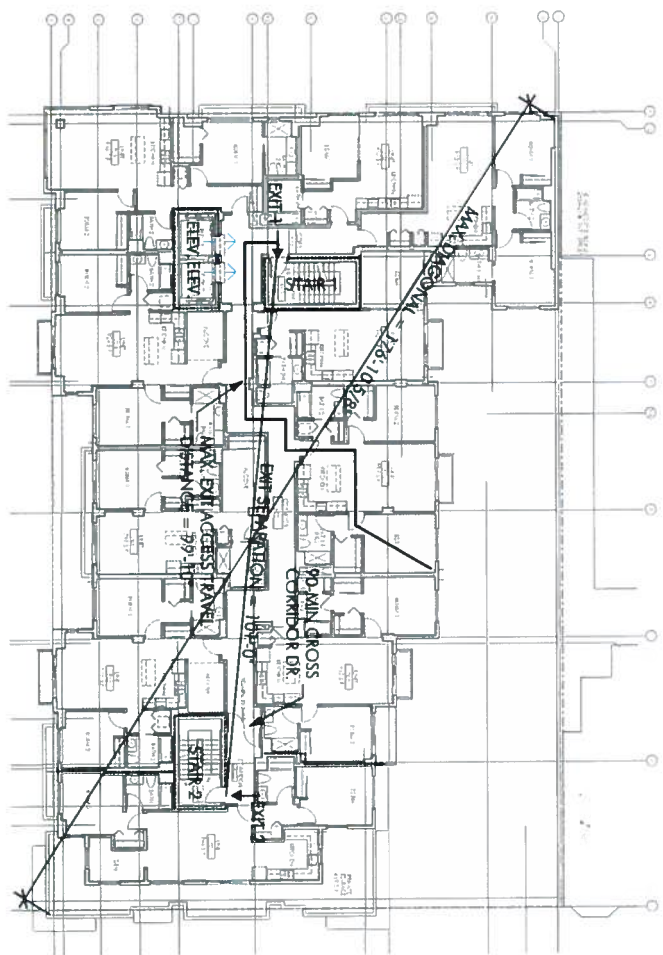
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS FOR TYPE IIA BASED ON FIRE SEPARATION DISTANCE PER TABLE 602:

| FIRE SEP. DIST. | M OCCUPANCY | R-2 / S-2 OCCUPANCIES |
|-----------------|-------------|-----------------------|
| X < 5 | 2 HR | 1 HR |
| 5 ≤ X < 10 | 1 HR | 1 HR |
| 10 ≤ X < 30 | 1 HR | 1 HR |
| X ≥ 30 | 0 HR | 0 HR |

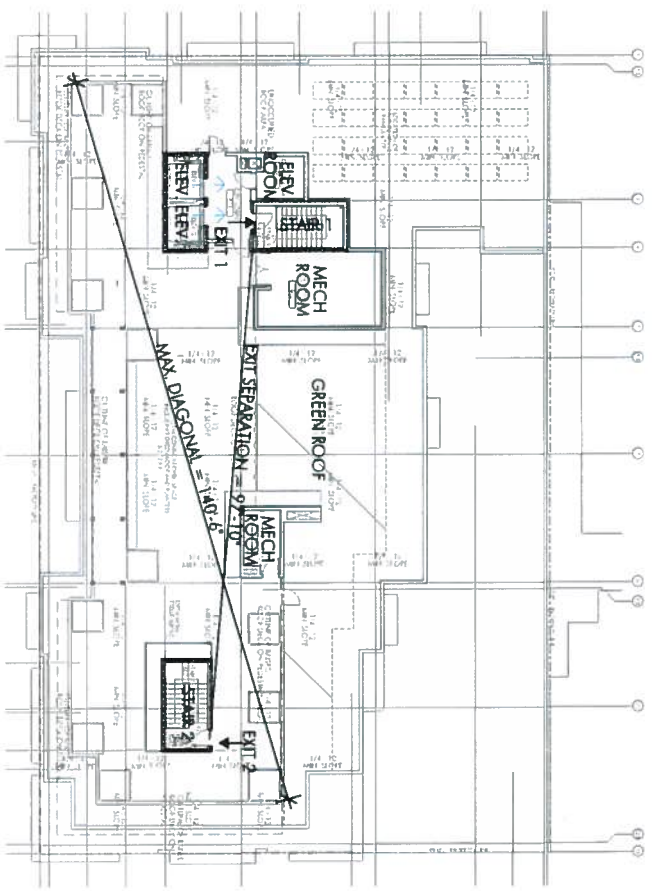
FIRE RESISTANCE RATING REQUIREMENTS FOR TYPE IIA PER TABLE 601:

| STRUCTURAL FRAME | 2 HR / |
|--|--------|
| 1 HR. ROOF SUPPORT | 2 HR / |
| EXTERIOR BEARING WALLS | 2 HR / |
| INTERIOR BEARING WALLS | 2 HR / |
| 1 HR. ROOF SUPPORT | 0 HR |
| INTERIOR NONBEARING WALLS & PARTITIONS | 2 HR |
| FLOOR CONSTRUCTION (BEAMS & JOISTS) | 1 HR |
| ROOF CONSTRUCTION (BEAMS & JOISTS) | 2 HR |
| SHAFT / STAIRWAY ENCLOSURES | 2 HR |

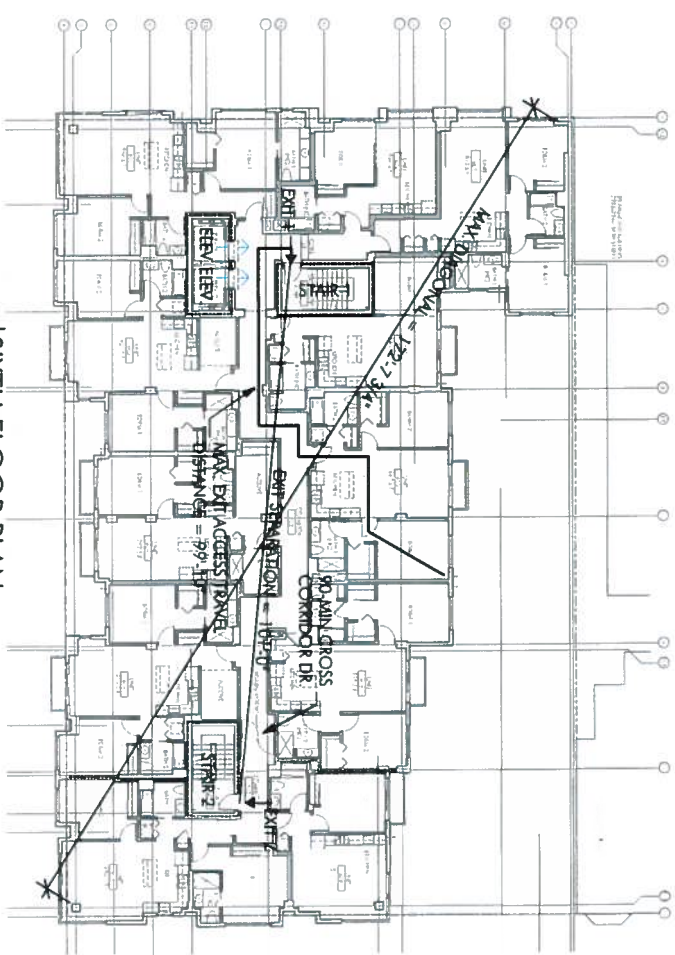
* EXTERIOR WALL OPENING CALCULATIONS TO BE SUBMITTED AS PART OF ADDENDUM SUBMITTAL



2 SEVENTH FLOOR PLAN
1/16" = 1'-0"



3 ROOF PLAN
1/16" = 1'-0"



1 SIXTH FLOOR PLAN
1/16" = 1'-0"

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| DATE | DESCRIPTION |
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| 10.27.14 | UA MARKING APPROVAL |
| 11.25.14 | SITE PERMIT REVISION 1 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 07004 DRAWN BY: W.S.

DATE: 1/27/2015 CHECKED BY: W.S.

SCALE: 3/32" = 1'-0", 1/16" = 1'-0"

SHEET TITLE: EXITING / ADA PATH OF TRAVEL PLAN

SHEET NUMBER: **A105**

490

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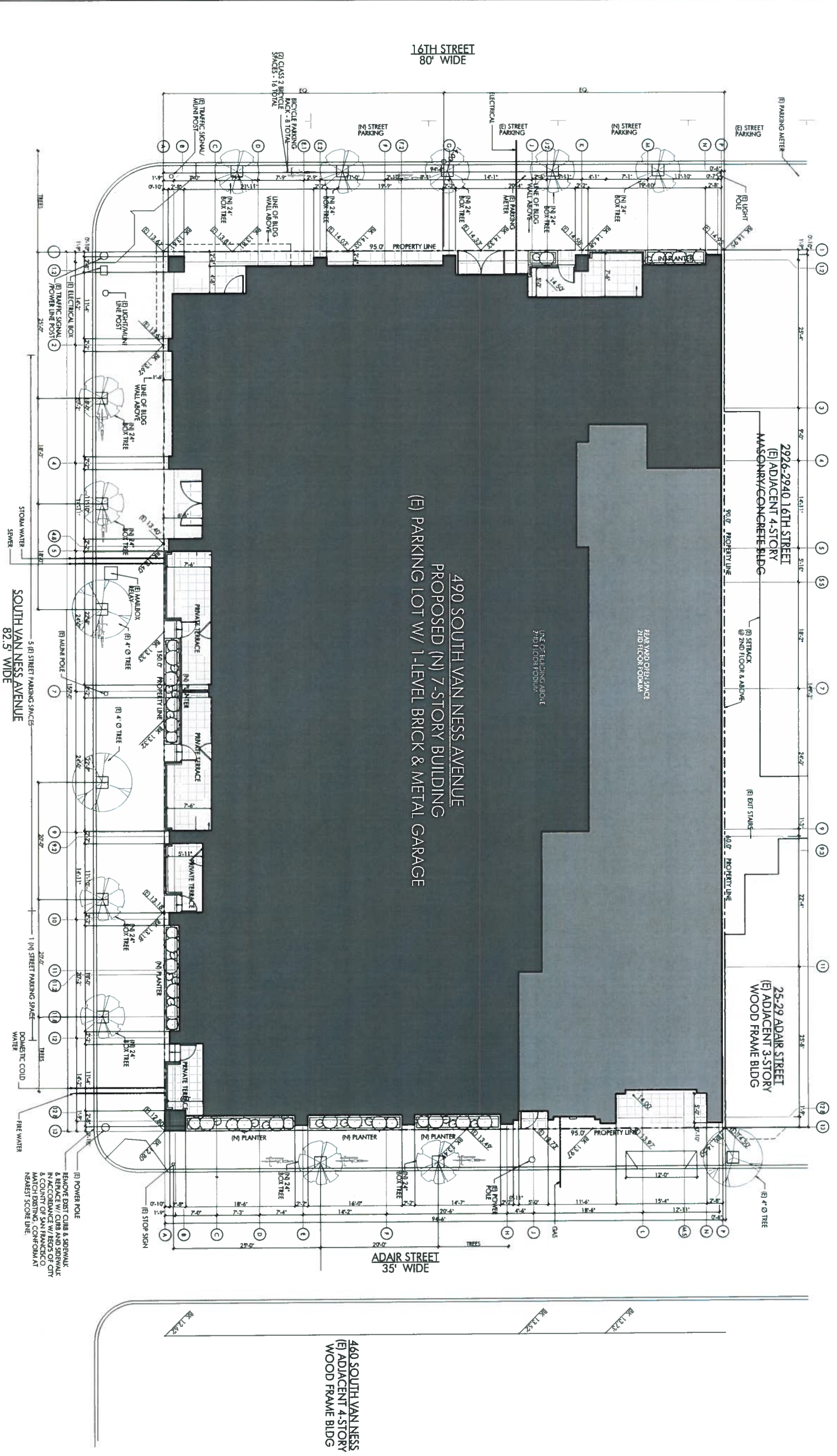
| | |
|----------|--------------------------|
| 10.02.14 | 1/A. PUBLISHING APPROVAL |
| 11.25.14 | 1/SITE PERMIT RESPONSE 2 |
| 01.20.15 | 1/SITE PERMIT RESPONSE 3 |

SITE PERMIT

JOB NUMBER: 09004
DATE: 1/29/2015
SCALE: 1/8" = 1'-0"
SHEET TITLE: SITE PLAN
SHEET NUMBER: A201

SITE PLAN

1/8" = 1'-0"



490 SOUTH VAN NESS AVENUE
PROPOSED (N) 7-STORY BUILDING
(E) PARKING LOT W/ 1-LEVEL BRICK & METAL GARAGE

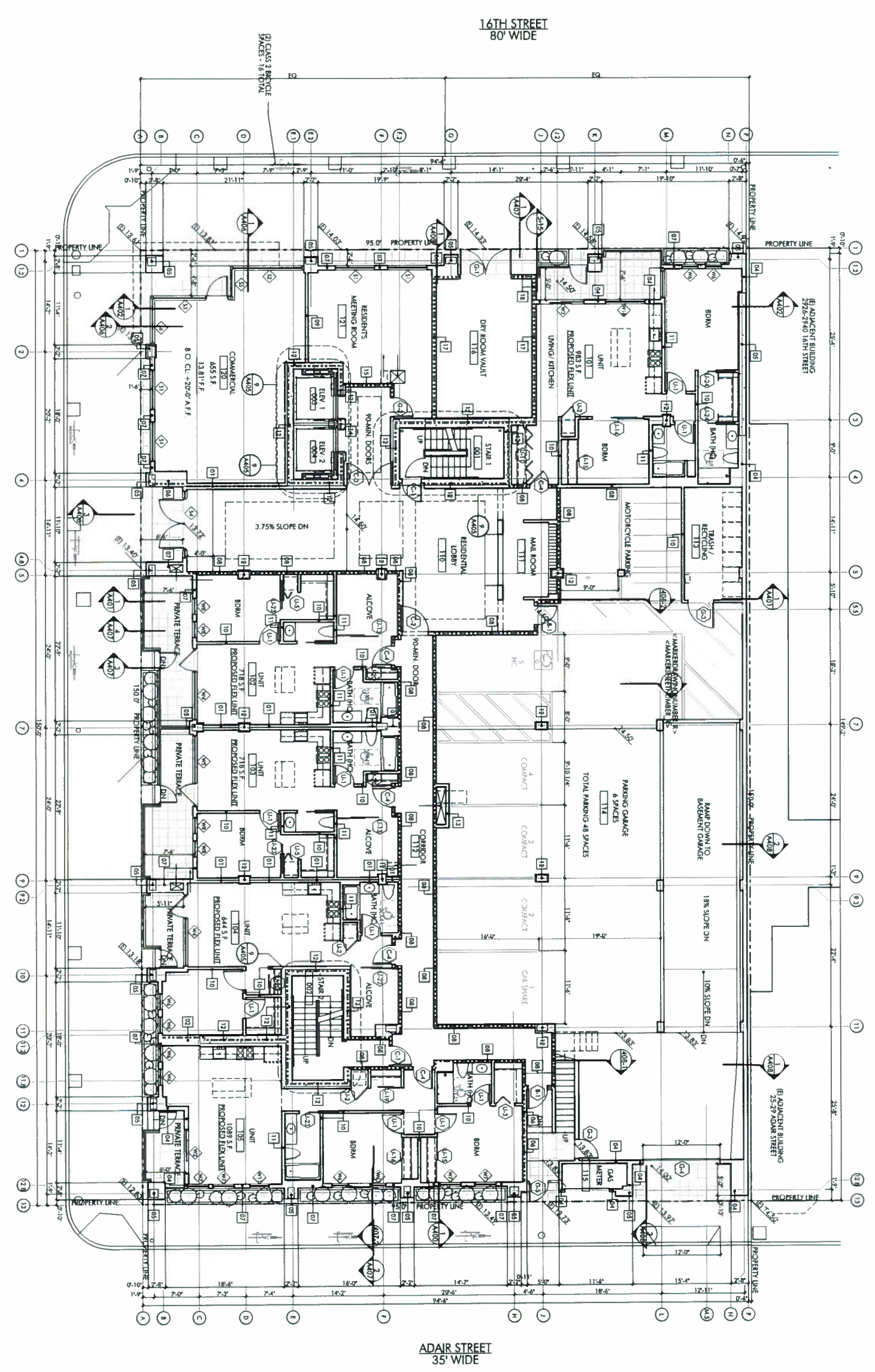
2926-2940 16TH STREET
(E) ADJACENT 4-STORY
MASONRY/CONCRETE BLDG

25-29 ADAIR STREET
(E) ADJACENT 3-STORY
WOOD FRAME BLDG

460 SOUTH VAN NESS
(E) ADJACENT 4-STORY
WOOD FRAME BLDG

GROUND FLOOR PLAN
1/8" = 1'-0"

SOUTH VAN NESS AVENUE
82.5' WIDE



FLEX UNIT LEGEND
AREA OF RESIDENTIAL FLEX UNITS WHICH MAY BE USED AND APPROVED FOR FUTURE COMMERCIAL USE

PARTITION LEGEND
1.1H FIRE-RESISTIVE WALL ASSEMBLY
2.1H FIRE-RESISTIVE WALL ASSEMBLY
3.1H FIRE-RESISTIVE WALL ASSEMBLY
NOTE: ALL EXTERIOR WALLS ARE 1.1H FIRE-RESISTIVE ASSEMBLY.
U.O.N.: SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE 1A BLDG ON SHT A003.1-A003.3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004
DATE: 1/29/2015
SCALE: 1/8" = 1'-0, 1/4" = 3'-0

DRAWN BY: [Signature]
CHECKED BY: W.S.

SHEET NUMBER: **A203**

GROUND FLOOR PLAN



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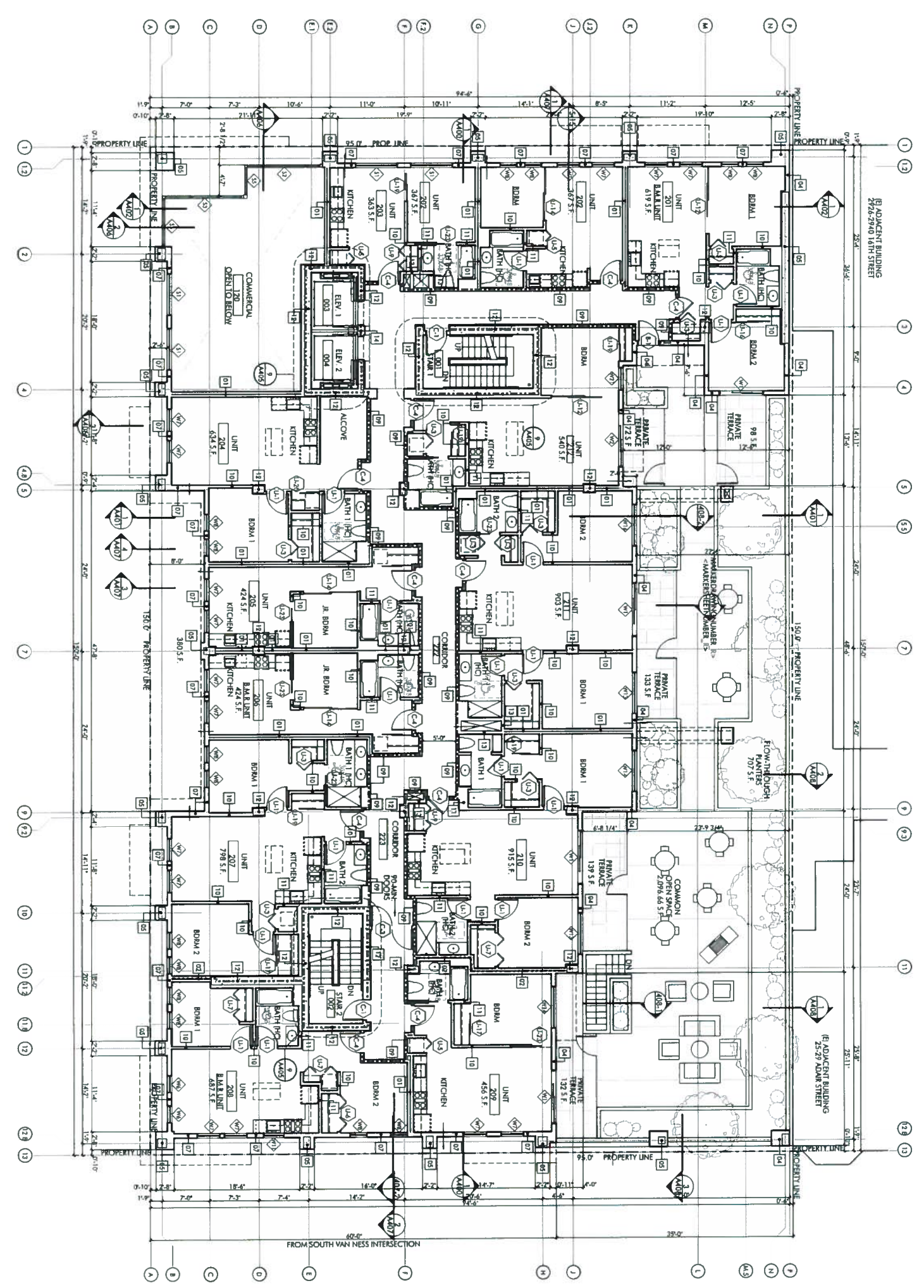
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| 102714 | SA MUNICIPAL APPOINTAL |
| 112514 | SITE REBATE REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: [Signature]
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 1/8" = 1'-0"
SHEET TITLE: SECOND FLOOR PLAN
SHEET NUMBER: A204



PARTITION LEGEND

- 1-1/2" FIRE-RESISTIVE WALL ASSEMBLY
- 2-1/2" FIRE-RESISTIVE WALL ASSEMBLY
- 3-1/2" FIRE-RESISTIVE WALL ASSEMBLY

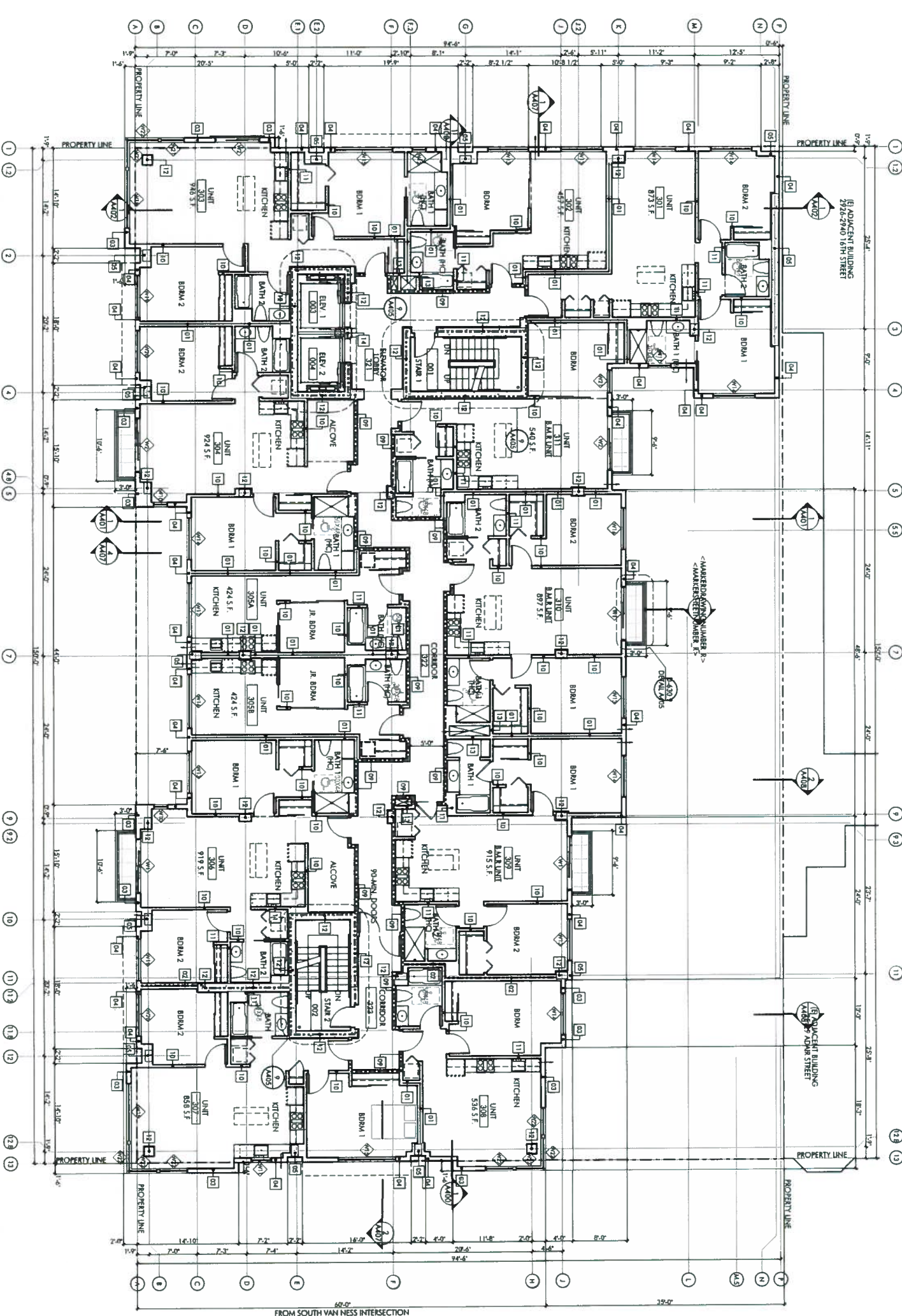
NOTE: ALL EXTERIOR WALLS ARE 1-1/2" FIRE-RESISTIVE ASSEMBLY.
U.O.N.: SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE 1A BLDG ON SHIT A003 1-A003 3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.

1 SECOND FLOOR PLAN
1/8" = 1'-0"

PARTITION LEGEND

- 1-1/2" FIRE RESISTIVE WALL ASSEMBLY
- 2-1/2" FIRE RESISTIVE WALL ASSEMBLY
- 3-1/2" FIRE RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-1/2" FIRE RESISTIVE ASSEMBLY.
 U.O.N.: SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE 1A BLDG ON SH# A003 1-A003 3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.



THIRD FLOOR PLAN
 1/8" = 1'-0"

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| 11.25.14 | SITE REVIEW REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: W.S.
 DATE: 1/29/2015 CHECKED BY: W.S.
 SCALE: 1/8" = 1'-0"
 SHEET TITLE: THIRD FLOOR PLAN
 SHEET NUMBER: A205

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| 10/02/14 | U/I RANKING APPROVAL |
| 11/25/14 | SITE PERMIT RESPONSE 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: W.S.

DATE: 1/29/2015 CHECKED BY: W.S.

SCALE: 1/8" = 1'-0"

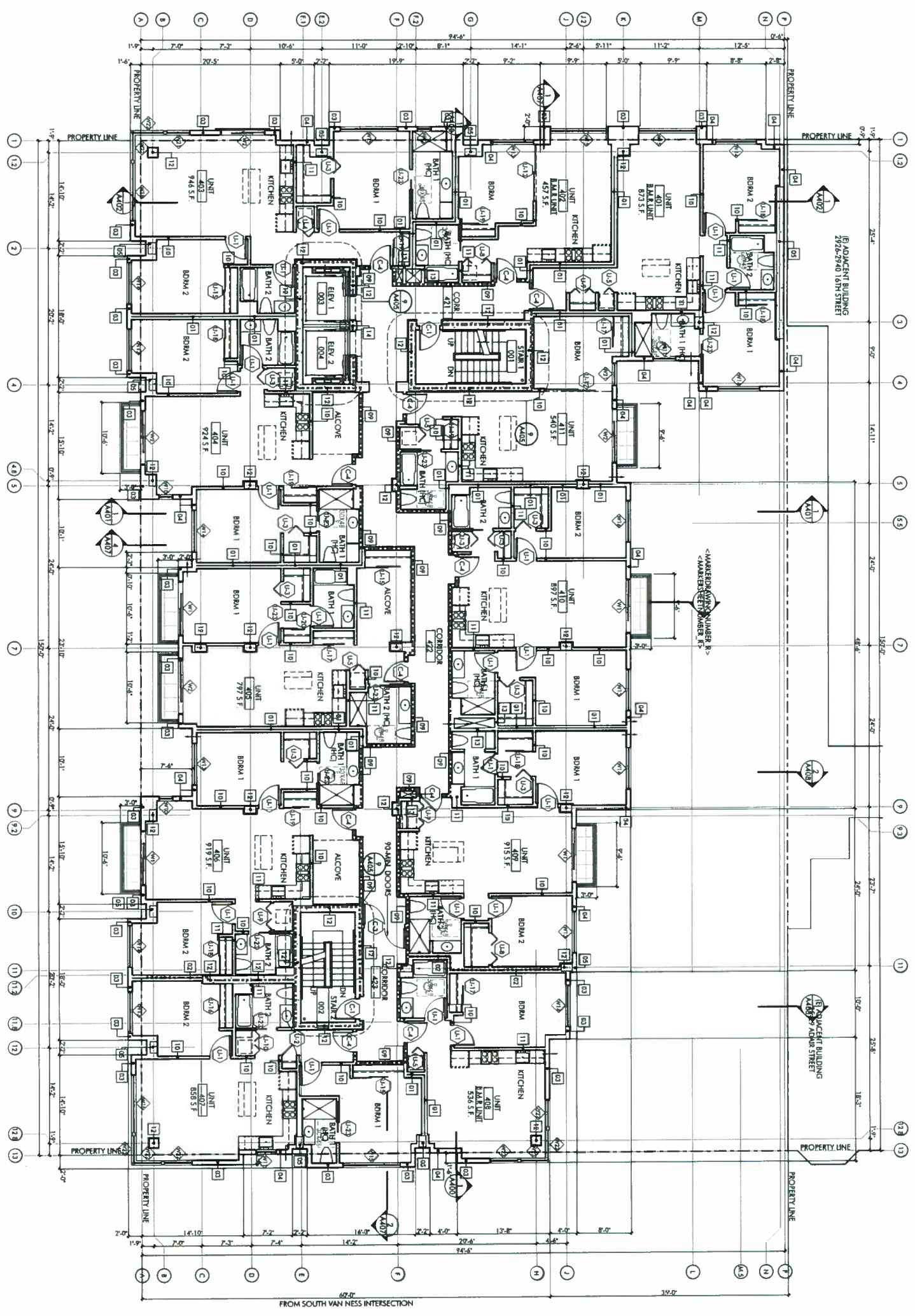
SHEET TITLE: FOURTH FLOOR PLAN

SHEET NUMBER: A206

PARTITION LEGEND

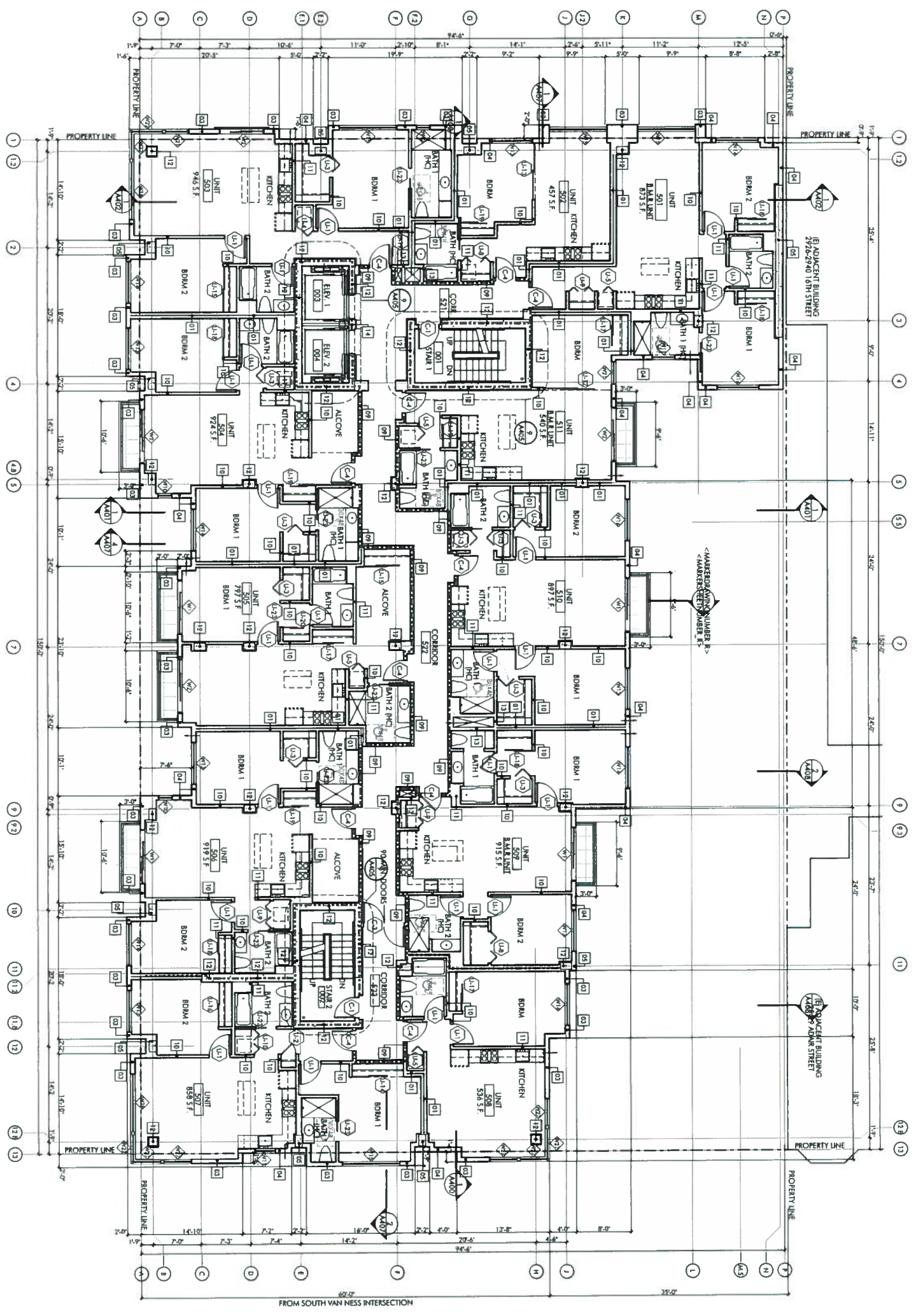
- 1-HR FIRE RESISTIVE WALL ASSEMBLY
- 2-HR FIRE RESISTIVE WALL ASSEMBLY
- 3-HR FIRE RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-HR FIRE RESISTIVE ASSEMBLY.
U/I N. SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE 1A BLDG ON SHT. A003 1-0003 3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.



1 FOURTH FLOOR PLAN
1/8" = 1'-0"

1 FIFTH FLOOR PLAN
1/8" = 1'-0"



PARTITION LEGEND

- 1-HR FIRE-RESISTIVE WALL ASSEMBLY
- 2-HR FIRE-RESISTIVE WALL ASSEMBLY
- 3-HR FIRE-RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-HR FIRE-RESISTIVE ASSEMBLY.
U.O.N. - SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE LB BLDG ON SHIT A003 1-A003 3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.

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| 112014 | UP-DRAWING APPROVAL |
| 112514 | SIT REBAR REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: DRAWN BY: 09504
DATE: 1/29/2015 CHECKED BY: W/S
SCALE: 1/8" = 1'-0"

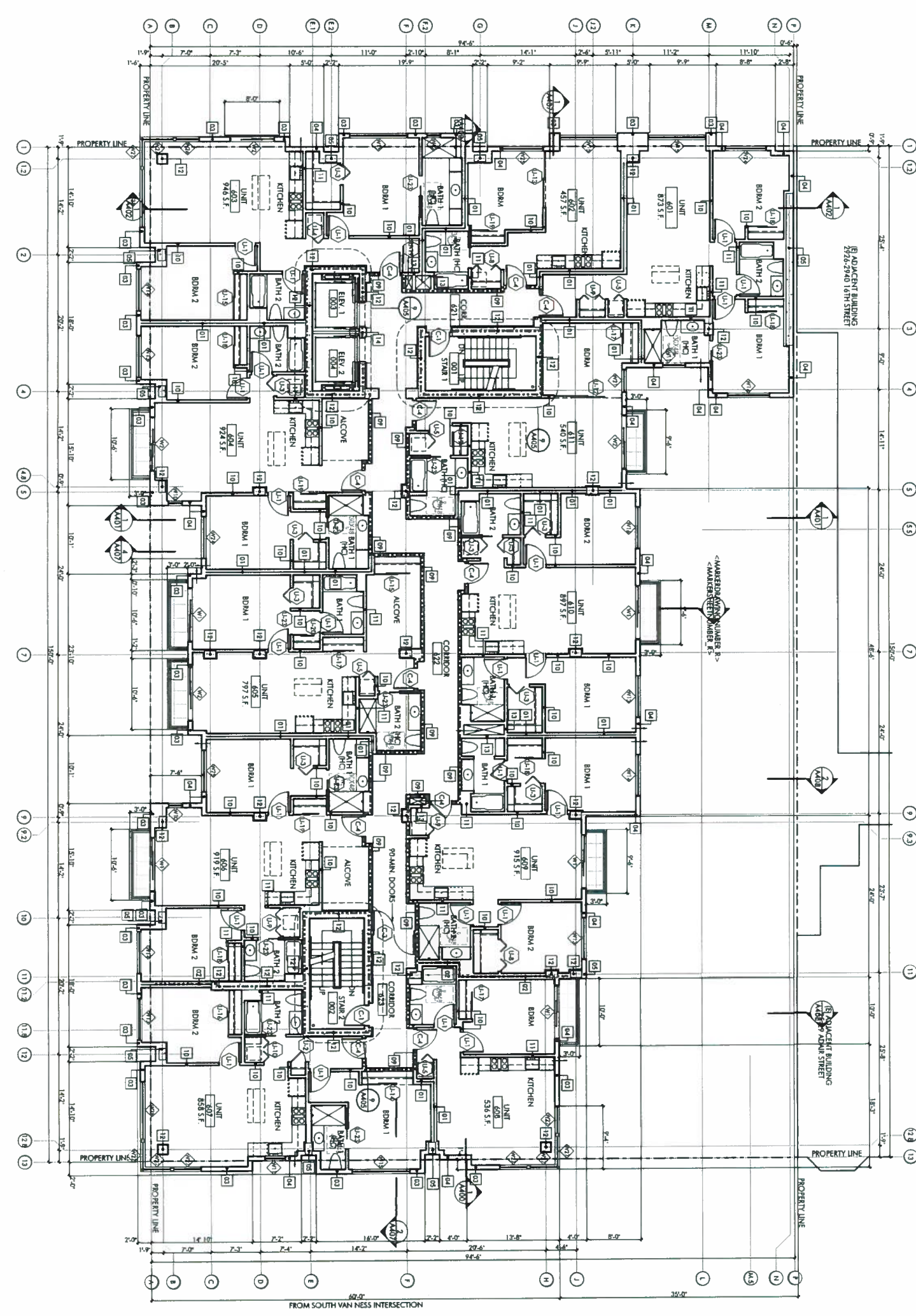
FIFTH FLOOR PLAN

SHEET NUMBER: **A207**

PARTITION LEGEND

- 1-1/2" FIRE RESISTIVE WALL ASSEMBLY
- 2-1/2" FIRE RESISTIVE WALL ASSEMBLY
- 3-1/2" FIRE RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-1/2" FIRE RESISTIVE ASSEMBLY.
 U.O.N.: SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE 1A BLDG ON SHF A003.1-A003.3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.



SIXTH FLOOR PLAN
 1/8" = 1'-0"

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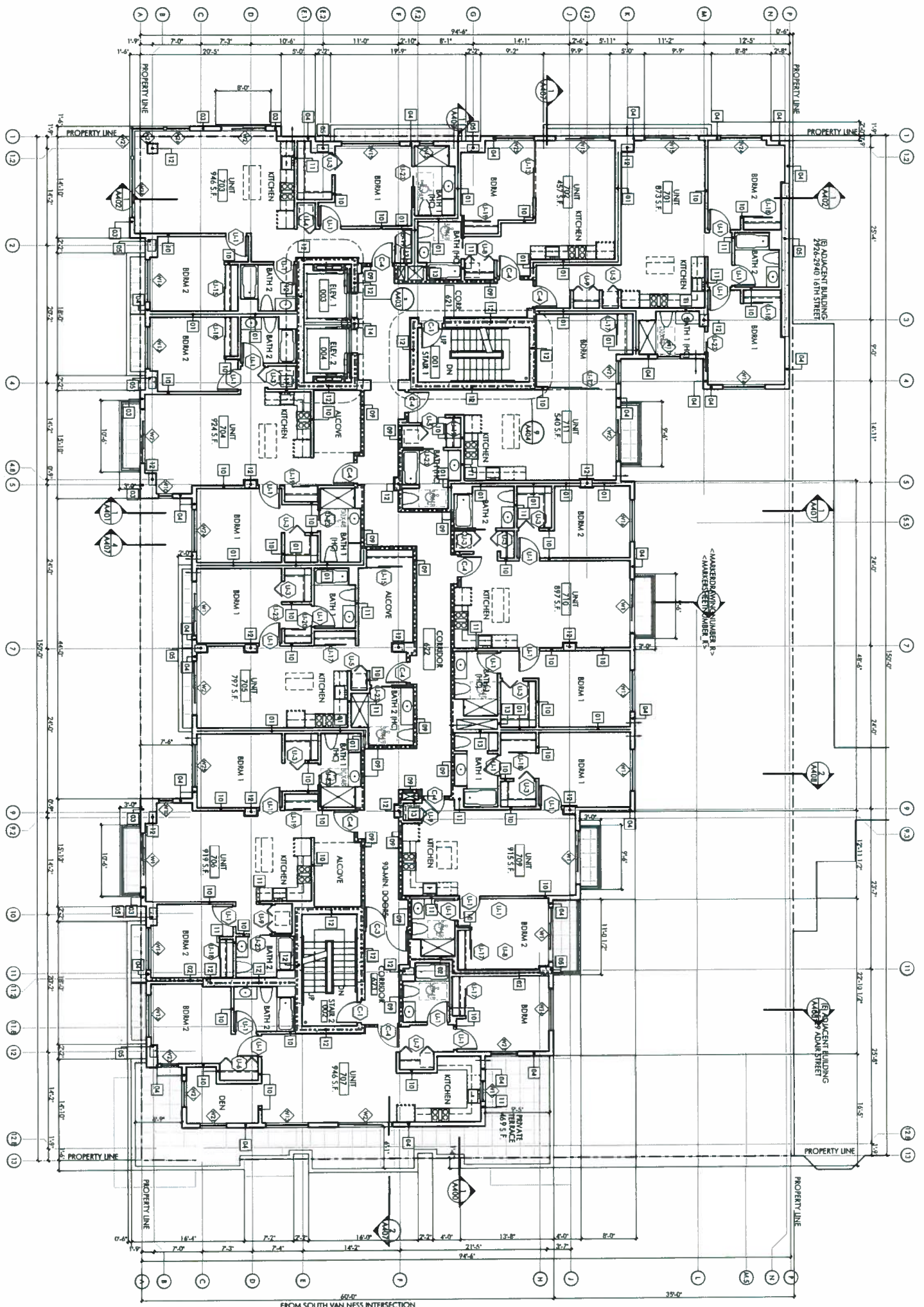


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|----------|----------------------|
| 10.02.14 | U/A MARKING APPROVAL |
| 11.25.14 | SIT PLAN/REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: W.S.
 DATE: 1/29/2015 CHECKED BY: W.S.
 SCALE: 1/8" = 1'-0"
 SHEET TITLE: SIXTH FLOOR PLAN
 SHEET NUMBER: A208

SEVENTH FLOOR PLAN
1/8" = 1'-0"



PARTITION LEGEND

- 1-1/8" FIRE-RESISTIVE WALL ASSEMBLY
- 2-1/8" FIRE-RESISTIVE WALL ASSEMBLY
- 3-1/8" FIRE-RESISTIVE WALL ASSEMBLY
- 4-1/8" FIRE-RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-HR FIRE-RESISTIVE ASSEMBLY.
U.O.N.: SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR TYPE LA BLDG ON SHIT A003.1-A003.3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.

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| 11/25/14 | SITE REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09094 DRAWN BY: W.S.
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 1/8" = 1'-0"
SHEET TITLE: SEVENTH FLOOR PLAN
SHEET NUMBER: A209

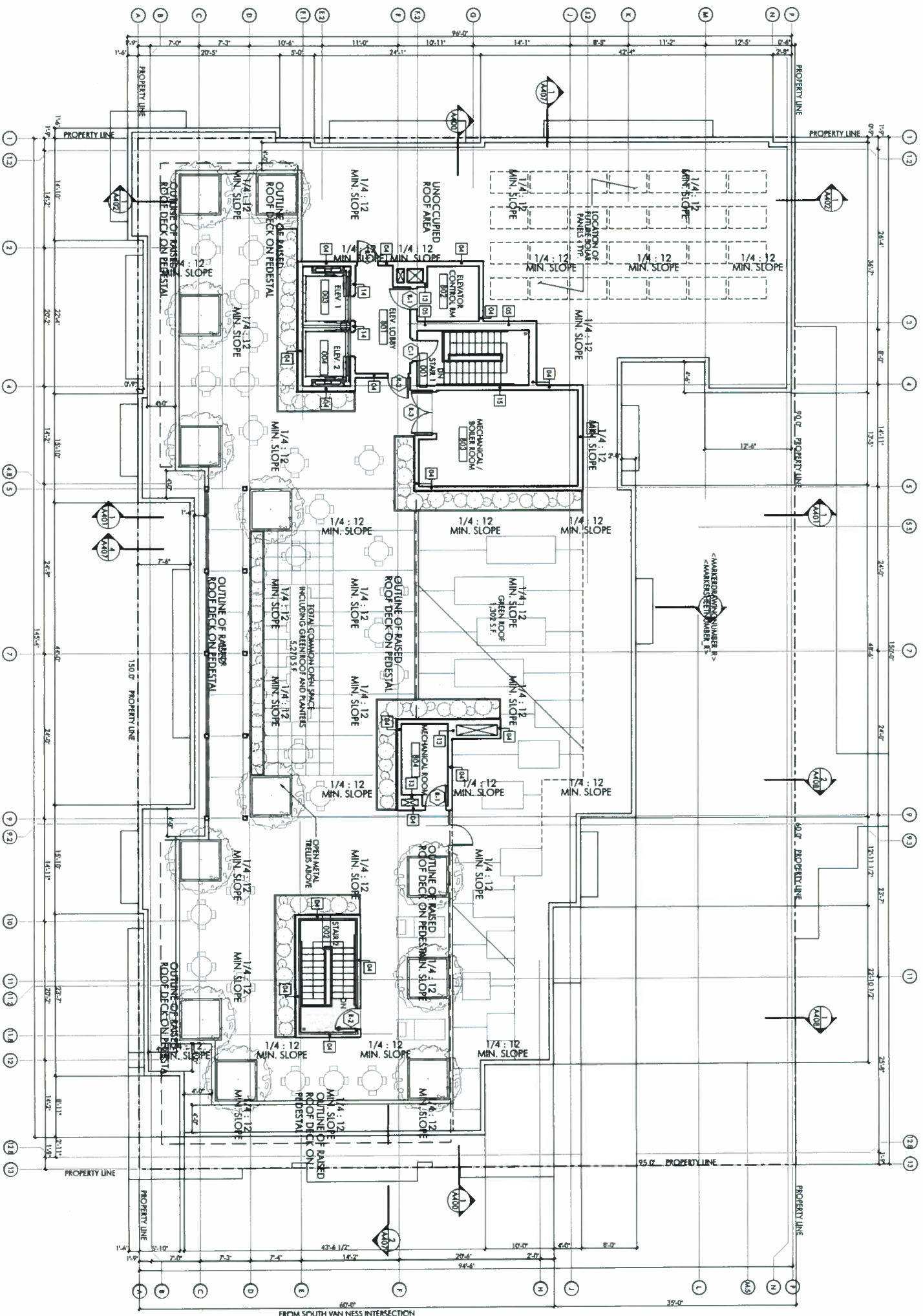
PARTITION LEGEND

1-HR FIRE-RESISTIVE WALL ASSEMBLY

2-HR FIRE-RESISTIVE WALL ASSEMBLY

3-HR FIRE-RESISTIVE WALL ASSEMBLY

NOTE: ALL EXTERIOR WALLS ARE 1-HR FIRE-RESISTIVE ASSEMBLY, UIC-N. SEE FIRE RESISTANCE RATING REQUIREMENTS TABLE FOR THE LA BLDG ON SHF A003 1-A003 3 FOR FIRE RESISTANCE RATINGS OF ALL BUILDING ELEMENTS.



1 ROOF PLAN
1/8" = 1'-0"

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| 10/27/14 | VA MARKING APPROVAL |
| 11/23/14 | SIT REVISION RESPONSE 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004
DATE: 1/27/2015
SCALE: 1/8" = 1'-0"

DRAWN BY:
CHECKED BY: W.S.

SHEET NUMBER: **A210**

ROOF PLAN

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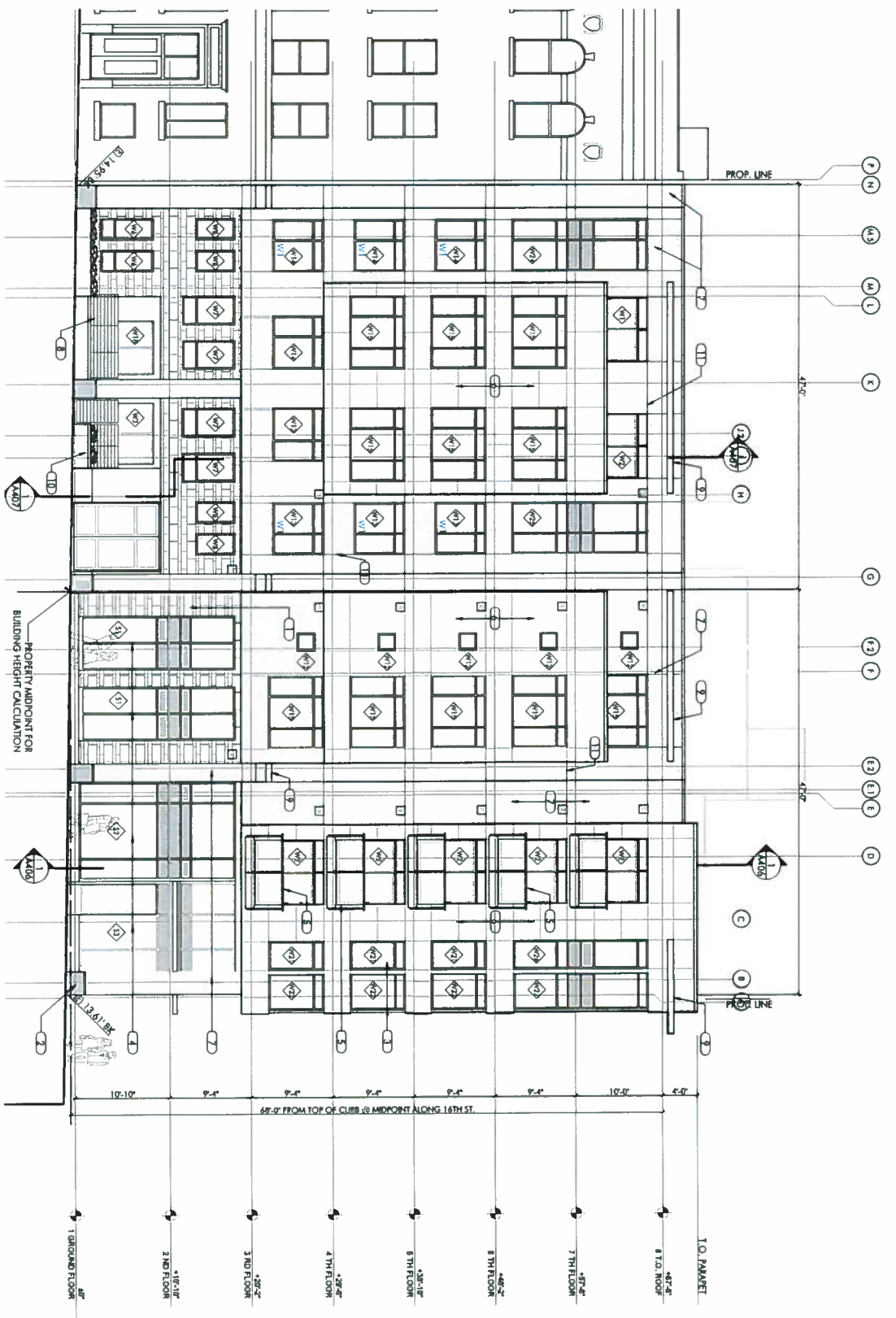
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| | |
|----------|----------------------|
| 10.02.14 | 04. PARKING APPROVAL |
| 11.25.14 | SITE REBID RENDON 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09104 DRAWN BY: W/S
 DATE: 1/29/2015 CHECKED BY: W/S
 SCALE: 1/8" = 1'-0", 1:250
 SHEET TITLE: EXTERIOR ELEVATION - 16TH ST.
 SHEET NUMBER: A.300



1 SOUTH EXTERIOR ELEVATION - 16TH ST.
 1/8" = 1'-0"

- KEY NOTES:**
- 1) GRAVIC OR STONE TILE
 - 2) GRAVIC OR STONE COLUMN BASE
 - 3) ANODIZED ALUMINUM WINDOW
 - 4) ANODIZED ALUMINUM STOREFRONT SYSTEM
 - 5) METAL W/ COLORED TRANSPARENT REAR PANEL
 - 6) SPECIAL COMPACT PANEL BY THERMA-CO. FD
 - 7) BRITAIN CORK GRANITE PAVING
 - 8) METAL MANG. FINISH
 - 9) METAL CHANCE TRAIL
 - 10) METAL PLANTS BOX

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| 102714 | VA PARKING REMOVAL |
| 112514 | SITE REBAR REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: DRAWN BY:
 DATE: CHECKED BY:
 1/29/2015 W.S.
 SCALE: 1/8" = 1'-0", 1:250
 SHEET TITLE:
 EXTERIOR ELEVATION - S. VAN NESS AVE.
 SHEET NUMBER:
A301



1 EAST EXTERIOR ELEVATION - S. VAN NESS AVE.
 1/8" = 1'-0"

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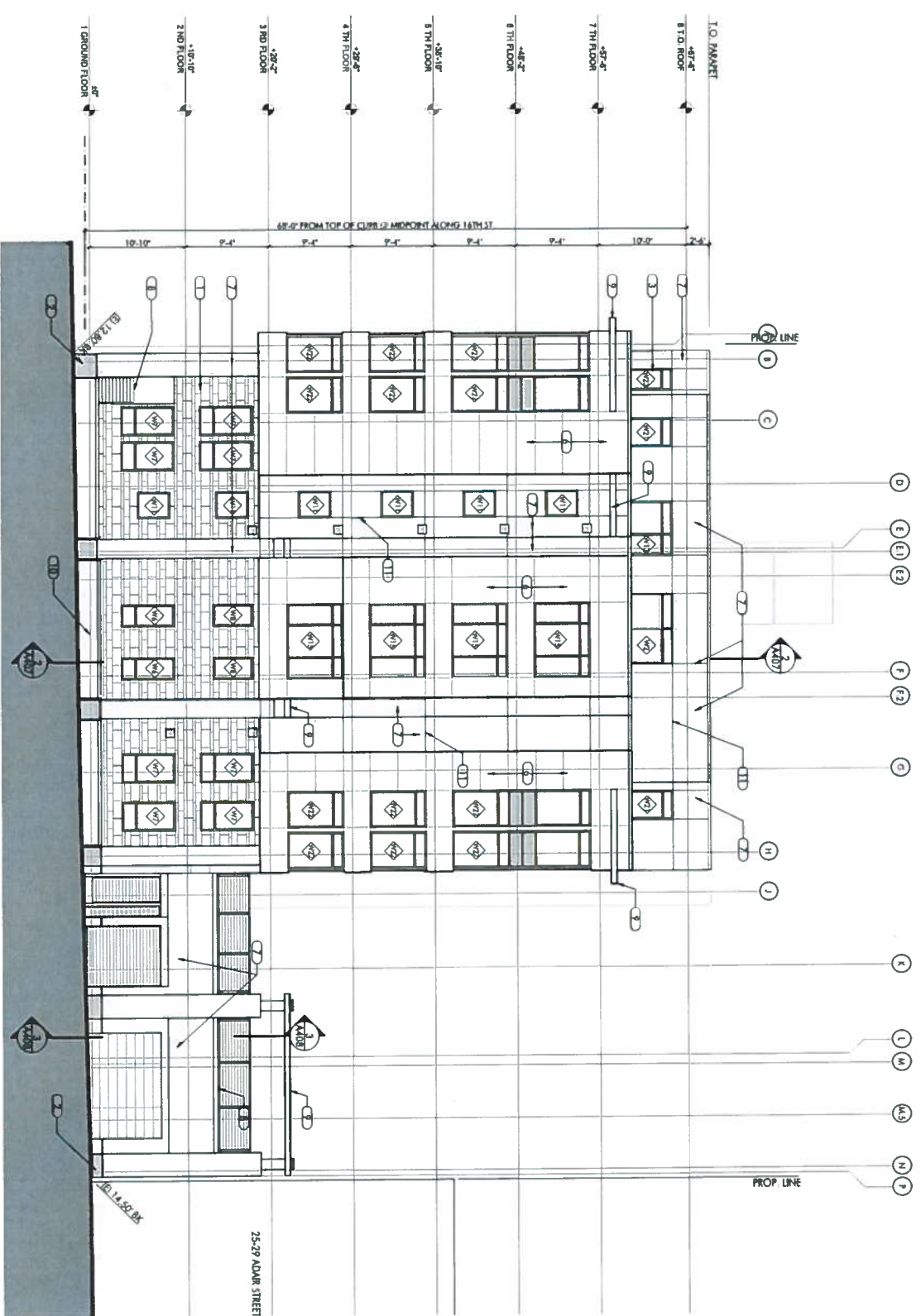
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| | |
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| 10.21.14 | UNRANKING APPROVAL |
| 11.25.14 | SITE PERMIT REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 07004 DRAWN BY: W.S.
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 1/8" = 1'-0", 1:240.39
SHEET TITLE: EXTERIOR ELEVATION - ADAIR ST.
SHEET NUMBER: A302



1 NORTH EXTERIOR ELEVATION - ADAIR ST.

1/8" = 1'-0"

- KEY NOTES:**
- 1) CERAMIC TILE
 - 2) CERAMIC TILE
 - 3) ANODIZED ALUMINUM WINDOW
 - 4) ANODIZED ALUMINUM STOREFRONT SYSTEM
 - 5) METAL MESH W/ COLORED TRANSPARENT RESIN PANEL
 - 6) BRITCOA COMPACT PANELS BY TRISA OF IO
 - 7) BRITCOA COLOR CHANGING PANELS
 - 8) METAL MESH - PAINTED
 - 9) METAL CONNECTIONS
 - 10) METAL NUMBER BOX

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| | |
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| 11/25/14 | SITE PERMIT REVISION 2 |

CONSTRUCTION DOCUMENTS

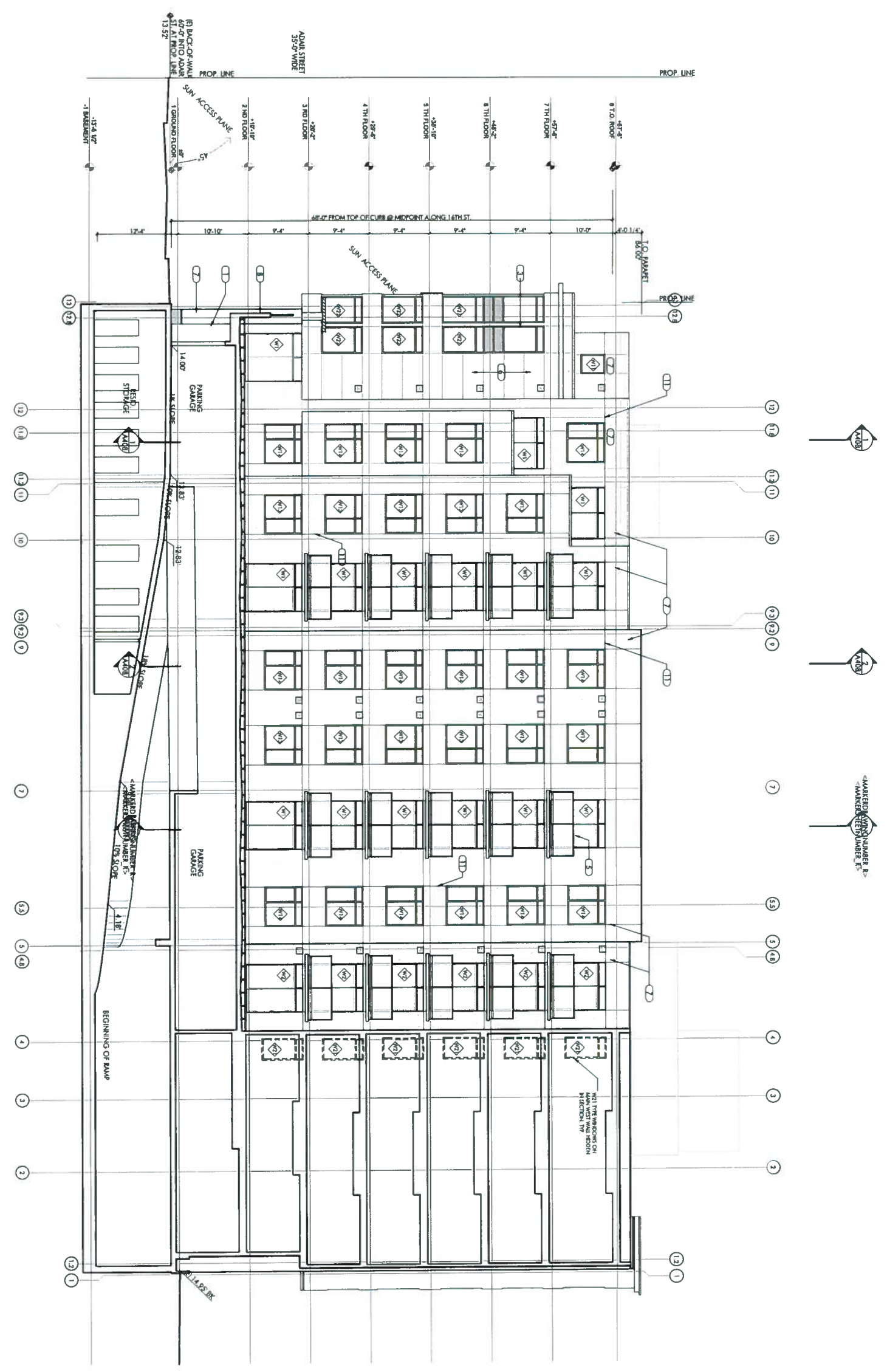
JOB NUMBER: 07004 DRAWN BY: [Signature]

DATE: 1/27/2015 CHECKED BY: W.S.

SCALE: 1/8" = 1'-0" 1:270.39

SHEET TITLE: EXTERIOR ELEVATION - WEST

SHEET NUMBER: **A303**



1 WEST EXTERIOR ELEVATION
 1/8" = 1'-0"

- KEY NOTES:**
- 1) CHAMFC ON STONE TILE
 - 2) CHAMFC ON STONE COLUMN BAL
 - 3) ANODIZED ALUMINUM WINDOW
 - 4) ANODIZED ALUMINUM STOREFRONT SYSTEM
 - 5) METAL W/ W/ COLORED TRANSLUCENT ELEM
 - 6) STITCHED COMPOSITE PANELS BY TRUSS CO. I/O
 - 7) ANTI-GRAFFITI COLOR CEMENT PLASTER
 - 8) METAL W/ ANOD. FINISH
 - 9) METAL CONNECTIONS
 - 10) METAL FINISHES ECR

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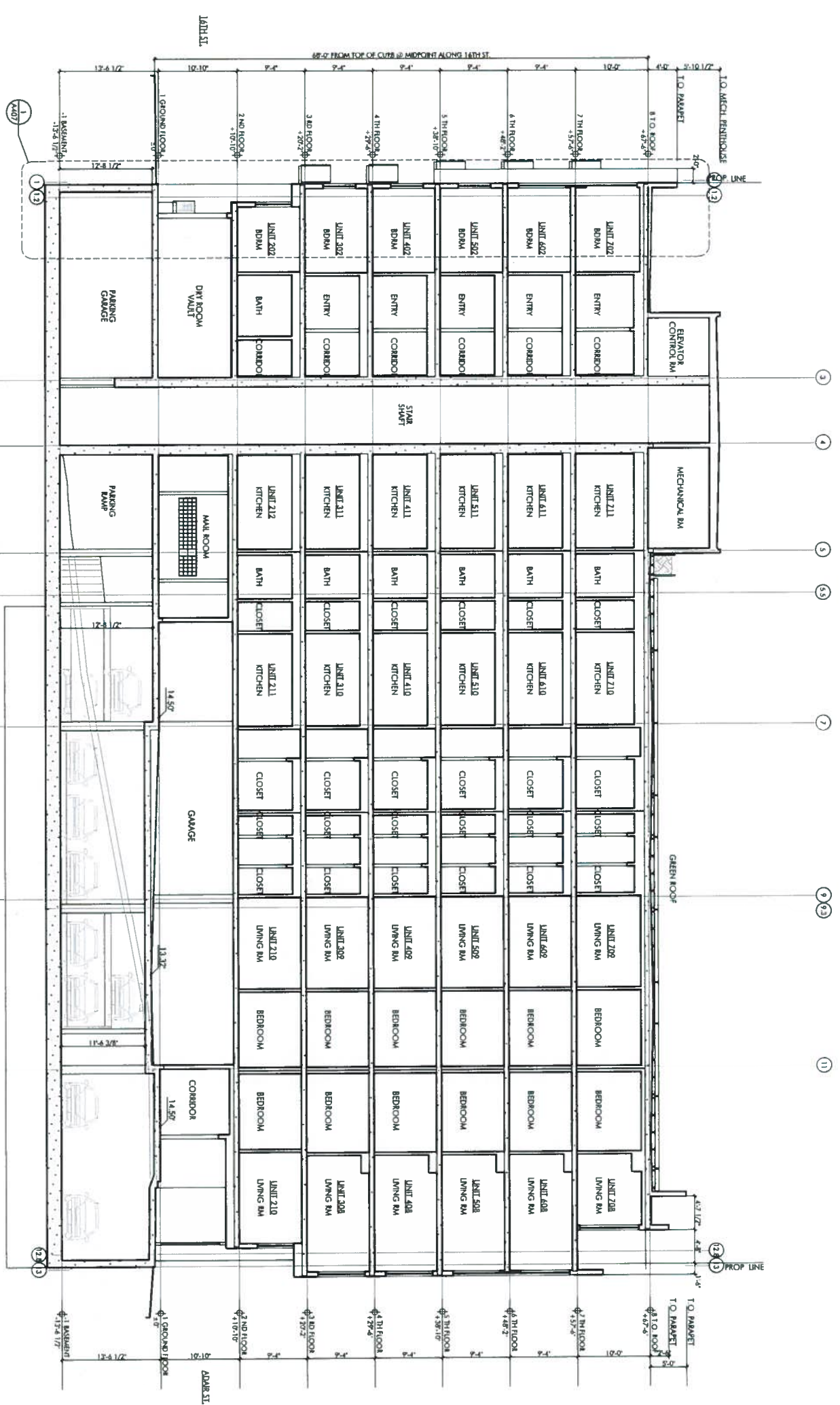
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| 10.02.14 | 12A PLANING APPROVAL |
| 11.25.14 | SF PERMITS REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: W.S.
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 1/8" = 1'-0"
SHEET TITLE: BUILDING SECTION A-A
SHEET NUMBER: A400



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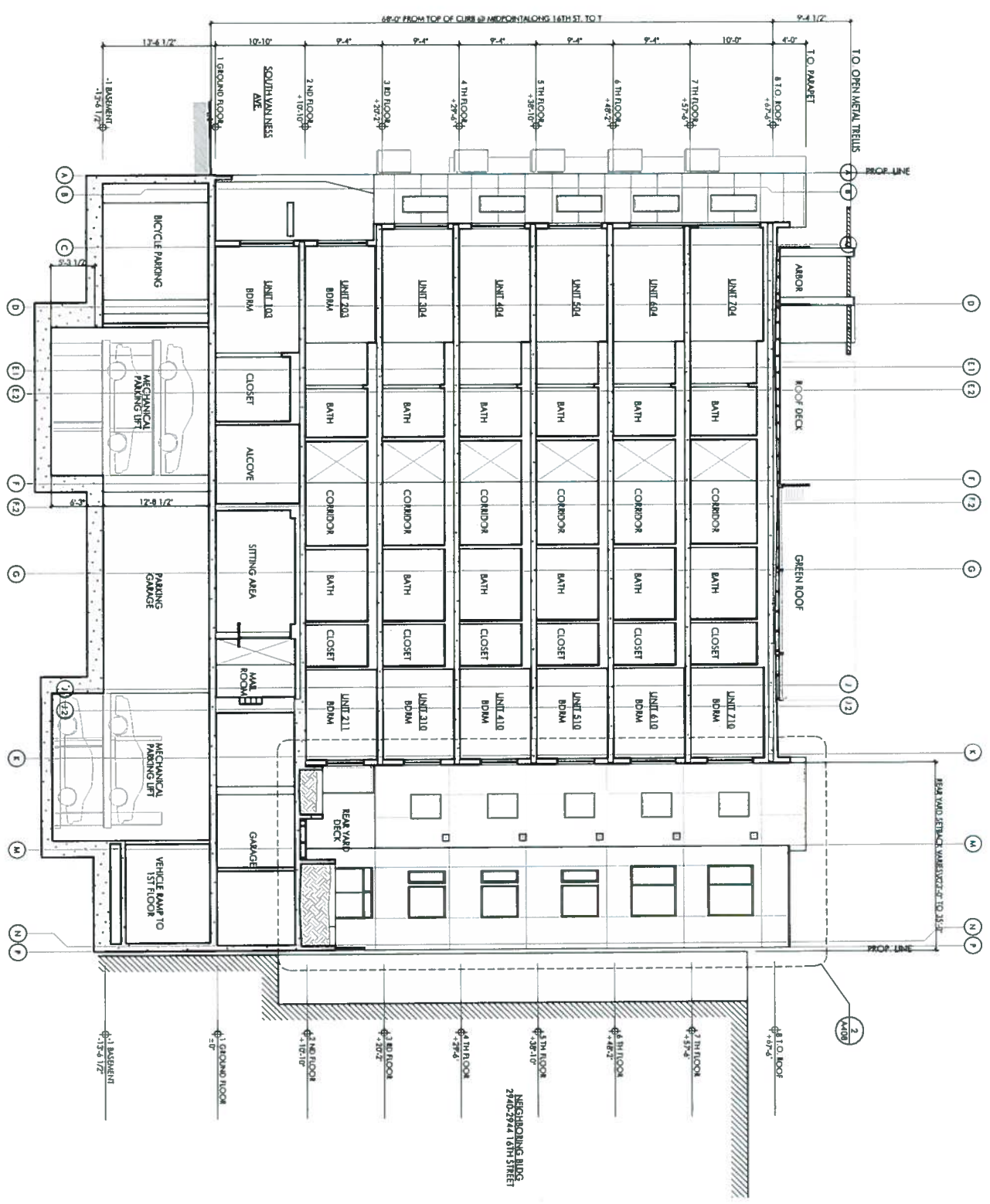
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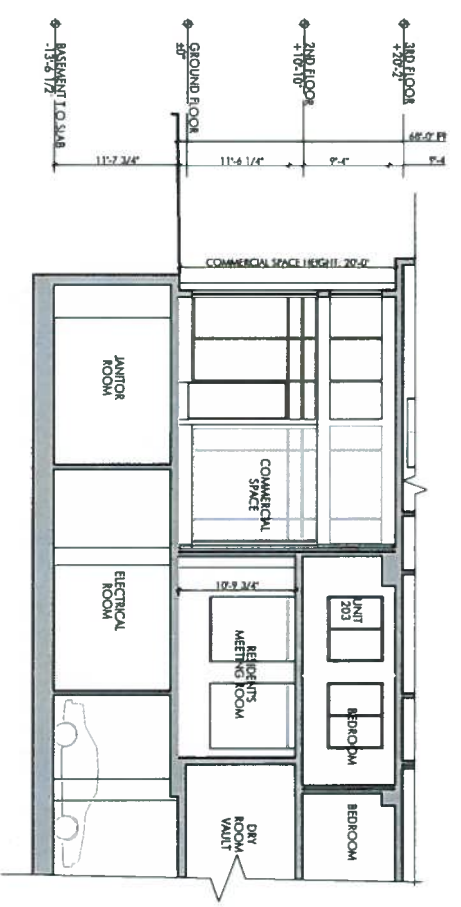
| | |
|----------|------------------------|
| 10/27/14 | DVA PARKING APPROVAL |
| 11/25/14 | SITE REVIEW REVISION 2 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 07004 DRAWN BY: W/S
 DATE: 1/29/2015 CHECKED BY: W/S
 SCALE: 1/8" = 1'-0"
 SHEET TITLE: BUILDING SECTION B-B
 SHEET NUMBER: A401



1 | BUILDING SECTION
 1/8" = 1'-0"



2 | BUILDING SECTION THROUGH COMMERCIAL
 1/8" = 1'-0"

490 SOUTH VAN NESS AVENUE

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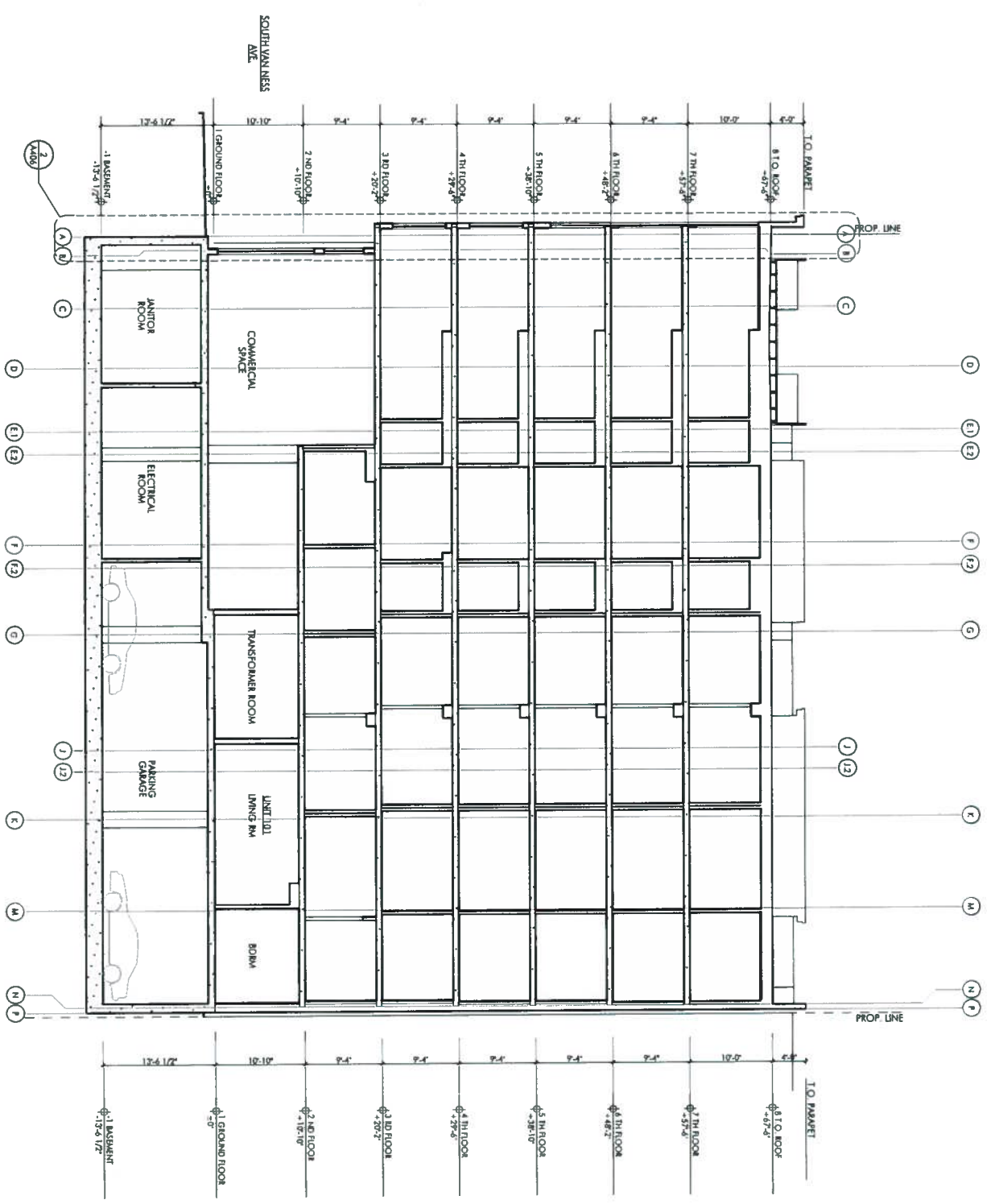


| | |
|----------|---------------------------|
| 18 02 14 | PLAN REVIEW APPROVAL |
| 11 25 14 | SITE PLAN REVIEW APPROVAL |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY: [Signature]
DATE: 1/29/2015 CHECKED BY: WS
SCALE: 1/8" = 1'-0"

SHEET TITLE: BUILDING SECTION D-D
SHEET NUMBER: A402



1 BUILDING SECTION
1/8" = 1'-0"

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|----------|------------------------|
| 10/27/14 | UA PLANING APPROVAL |
| 11/25/14 | SITE PERMIT REVISION 2 |

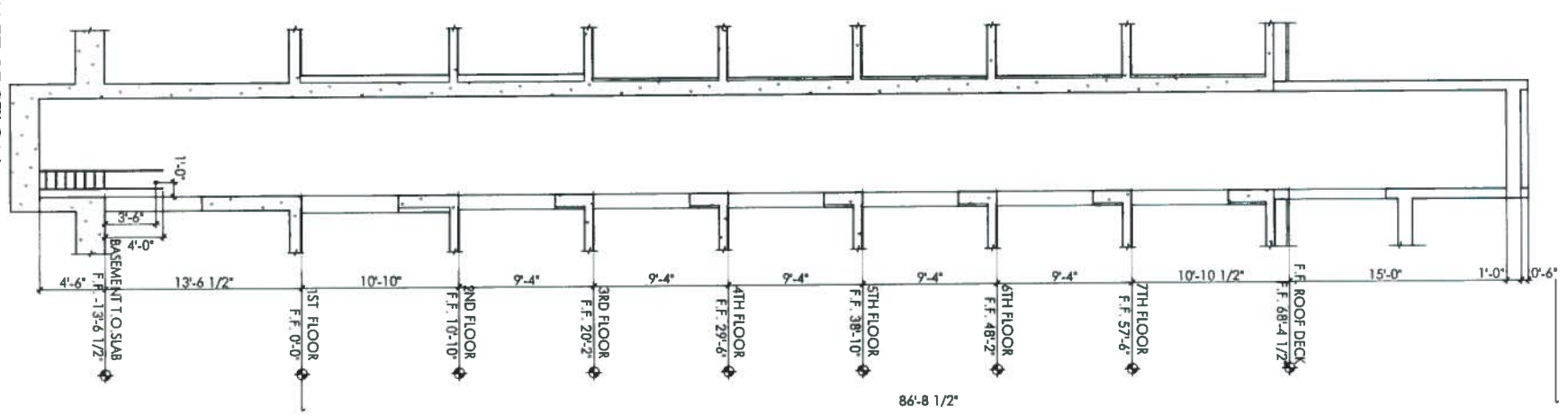
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CONSTRUCTION DOCUMENTS
JOB NUMBER: 09004 DRAWN BY:
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 3/16" = 1'-0"

SHEET TITLE:
ELEVATOR SHAFT SECTION

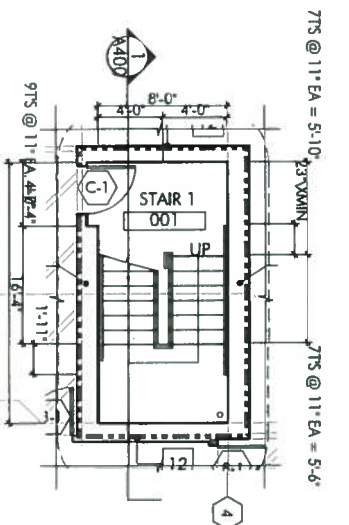
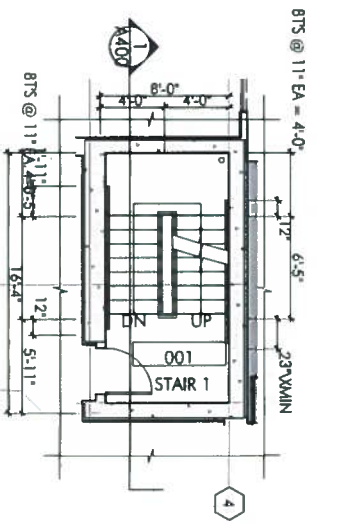
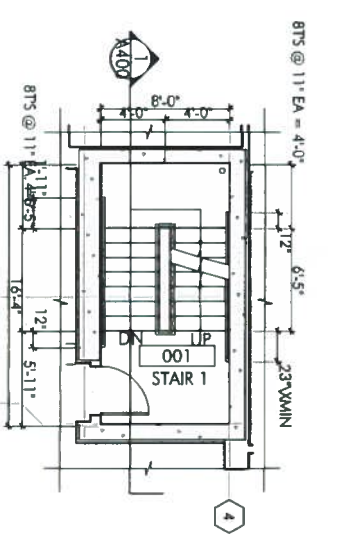
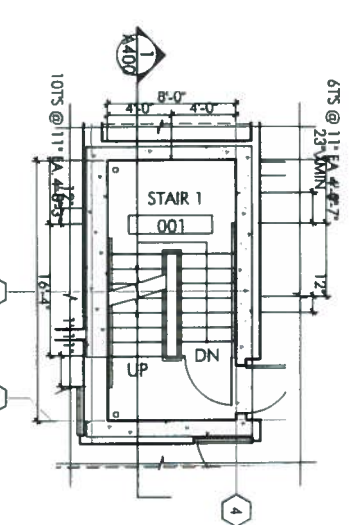
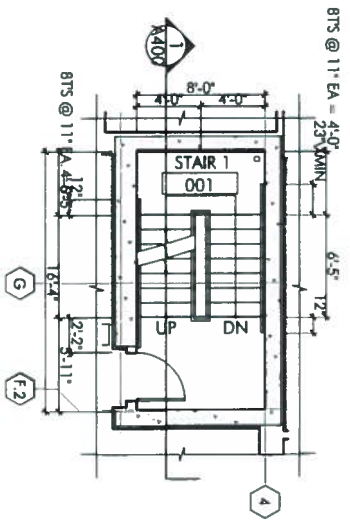
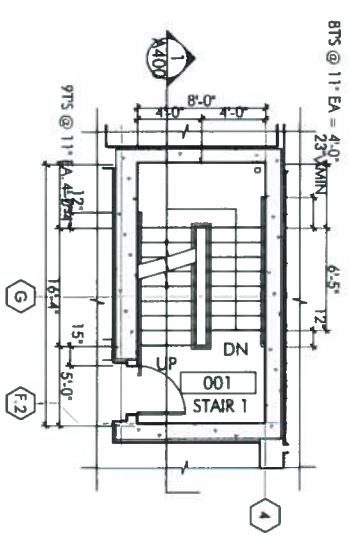
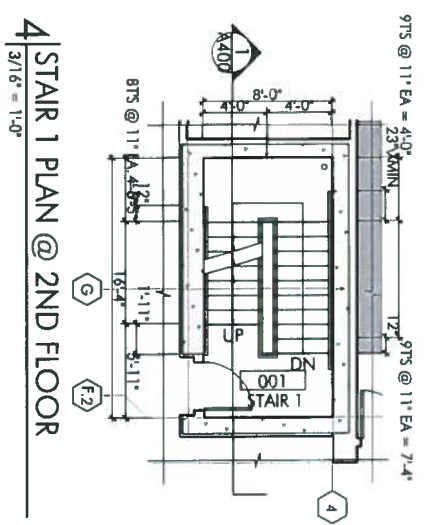
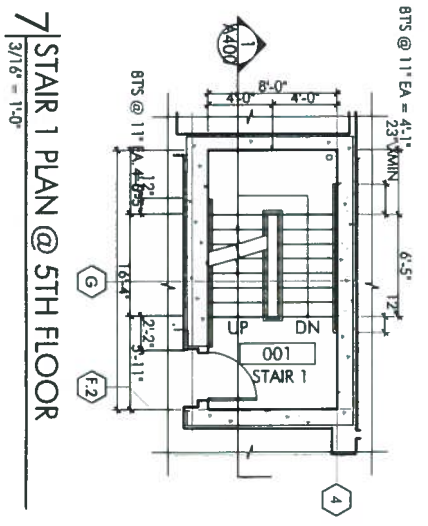
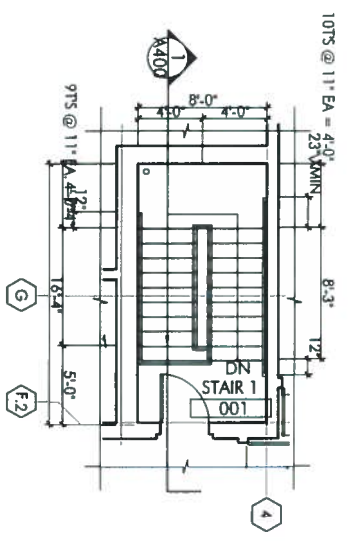
SHEET NUMBER:
A403

1 | ELEVATOR SHAFT SECTION
3/16" = 1'-0"



86'-8 1/2"

- ### KEY NOTES
- 1 FINISHED LANDINGS AT ALL RESIDENTIAL FLS TO BE 3/4" ABOVE TO CONC SLAB, TP TO MATCH ADJACENT FRESH F.H. - GC TO VERIFY ALL FINISH MATERIALS
 - 2 CLASS 1 STAIRPIPE, VERIFY LOCATION W/ SPRINKLER ENGINEER, LOCATE AS TIGHT TO LANDING CORNER OR STAIR WALL AS POSSIBLE INCL. FIRE OFFSETS BELOW CLIG WHERE OCCUR
 - 3 FL MITT TRANSITION - LOCATE UNDERFATH & PARALLEL TO DR. LANE
 - 4 NOT USED
 - 5 1-1/2" DIA HANDRAIL EA. SIDE, 36" ABOVE TREAD NOSING, 4" MAX. SPACING BTWN PICKETS, TP, W/O
 - 6 42" HIGH GUARD RAIL - CEMENT PLASTER FINISH @ EXT STAIRS, TUBE MIT @ INT STAIRS TO MATCH HANDRAILS
 - 7 EXIT DISCHARGE BARRIER GATE ON ELECTROMAGNETIC HOLD-OPEN, CONNECT TO SMOKE/FIRE ALARM SYSTEM
 - 8 INTEGRAL COLOR CONCRETE PAVING
 - 9 2" CONTRASTING WARNING STRIPE, PAINTED ON INTEGRAL PART OF FLOORING
- ### SHEET NOTES
- 1 REFER TO ACCESSIBILITY DIAGRAMS & STANDARDS (GOOS 1 THRU GOOS 4) FOR ALL PERMIT INFO INCL. BUT NOT LIMITED TO, HANDRAIL EXTENSIONS & DITS, TREAD & RISER HEIGHTS, SIGNAGE, WARNING STRIPING, ETC.
 - 2 DIMS ON STAIR PLANS ON THIS SHIT INDICATE REQUIREMENTS FOR RISE & RUN, HANDRAIL EXTENSIONS & STAIR FLIGHT WIDTHS. REFER TO FLOOR PLANS A101, A102, A103, A104, A105, A106, A107, A108, A109, A110 FOR OTHER DIMS NOT SHOWN ON THIS SHIT.
 - 3 PROVIDE SHOP DIMS FOR STAIR CONSTRUCTION INCL. STL RAILINGS & GUARDS) FOR OWNERS / ARCHIT'S REVIEW.
 - 4 ENSURE MIN. CLEARANCE @ STAIR LANDINGS & STAIR NOSING.



9 | STAIR 1 PLAN @ 7TH FLOOR
3/7/6" = 1'-0"

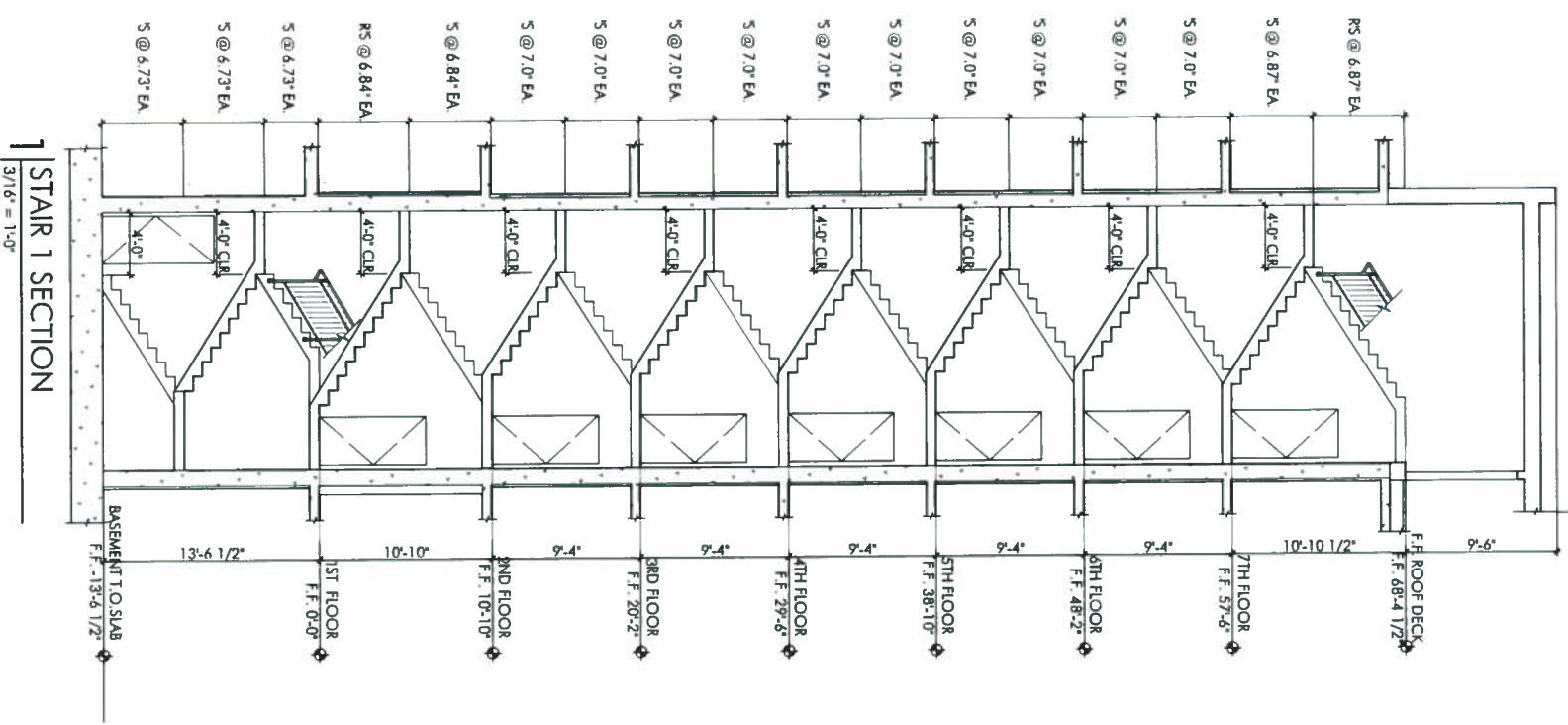
6 | STAIR 1 PLAN @ 4TH FLOOR
3/7/6" = 1'-0"

3 | STAIR 1 PLAN @ GROUND FLOOR
3/7/6" = 1'-0"

8 | STAIR 1 PLAN @ 6TH FLOOR
3/7/6" = 1'-0"

5 | STAIR 1 PLAN @ 3RD FLOOR
3/7/6" = 1'-0"

2 | STAIR 1 PLAN @ BASEMENT LEVEL
3/7/6" = 1'-0"



490

SOUTH VAN NESS AVENUE

SAN FRANCISCO, CA 94103

FORUM DESIGN
ARCHITECTS

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10/27/14 UNMARKING APPROVAL

11/25/14 SHIT REVISION 2

CONSTRUCTION DOCUMENTS

JOB NUMBER: 07004 DRAWN BY: W.S.

DATE: 1/29/2015 CHECKED BY: W.S.

SCALE: 3/16" = 1'-0", 1:66.67

SHEET TITLE: STAIR SECTIONS

SHEET NUMBER: **A404**

490

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|----------|-------------------------|
| 10.02.14 | USA/ARCHITECT/ARCHITECT |
| 11.25.14 | SIT REVISION REVISION 2 |

CONSTRUCTION DOCUMENTS

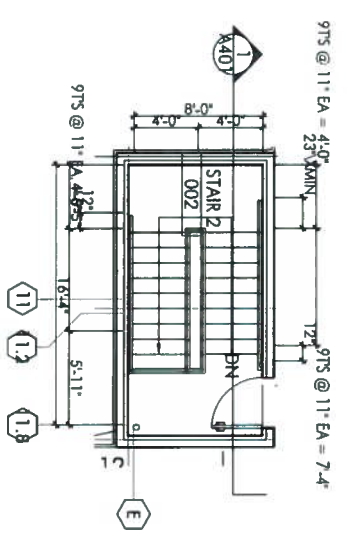
JOB NUMBER: 09004 DRAWN BY: W.S.
DATE: 1/27/2015 CHECKED BY: W.S.
SCALE: 3/16" = 1'-0", 1:64.87, 1:61.14
SHEET TITLE: STAIR SECTIONS
SHEET NUMBER: A405

KEY NOTES

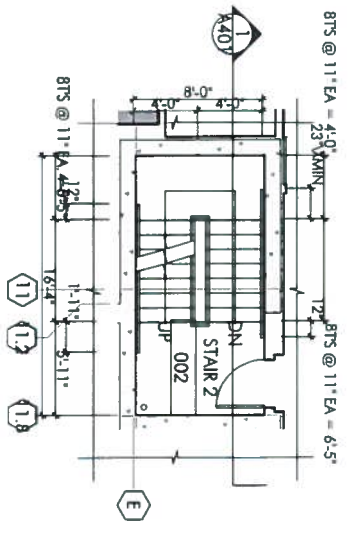
- FINISHED LANDINGS AT ALL RESIDENTIAL FLS TO BE ±3/4" ABOVE TO CONC SLAB TOP TO MATCH ADJACENT FINISH FL HT - GC TO VERIFY ALL FINISH FL MATERIALS.
- CLASS I STAIRPIPE, VERIFY LOCATION W/ SPRINKLER ENGINEER, LOCATE AS TIGHT TO LANDING CORNER OR STAIR WALL AS POSSIBLE INCL. PIPE OFFSETS BELOW CLG WHERE OCCUR.
- FL W/INT. TRANSITION - LOCATE UNDERNEATH & MAKEUP TO DR LEAF.
- NOT USED
- 1.1/2" DIA HANDRAIL EA. SIDE, 3/4" ABOVE TREAD NOSING & MAX. SPACING BTWN PICKETS, TYP, N.O.
- 47" HIGH GUARD RAIL - CEMENT PLASTER FINISH @ EXT STAIRS, TUBE MET @ INT STAIRS TO MATCH HANDRAILS.
- EXIT DISCHARGE BARRIER GATE ON ELECTROMAGNETIC HOLD-OPEN CONNECT TO SMOKE/FIRE ALARM SYSTEM.
- INTEGRAL COLOR CONCRETE PAVING
- 2" CONTRASTING WARNING STRIPE, PAINTED OR INTEGRAL PART OF FLOORING

SHEET NOTES

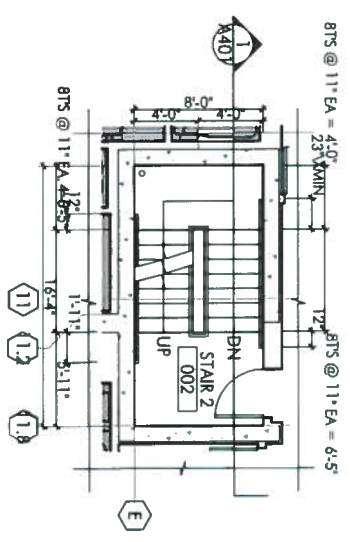
- REFER TO ACCESSIBILITY DIAGRAMS & STANDARDS (GD005 1 THRU GD005 4) FOR ALL PERTINENT INFO INCL. BUT NOT LIMITED TO, HANDRAIL EXTENSIONS & DTLS, TREAD & RISER HEIGHTS, SIGNAGE, WARNING STRIPING, ETC.
- DIMS ON STAIR PLANS ON THIS SHEET INDICATE REQUIREMENTS FOR RISE & RUN, HANDRAIL, EXTENSIONS & STAIR FLIGHT WIDTHS. REFER TO FLOOR PLANS A101, A102, A103, A104, A105, A106, A107, A108, A109, A110 FOR OTHER DIMS NOT SHOWN ON THIS SHEET.
- PROVIDE SHOP DIMS FOR STAIR CONSTRUCTION INCL. STL RAILINGS & GUARDS FOR OWNERS / ARCHIT'S REVIEW.
- ENSURE MIN. CLEARANCE @ STAIR LANDING & STAIR NOSING



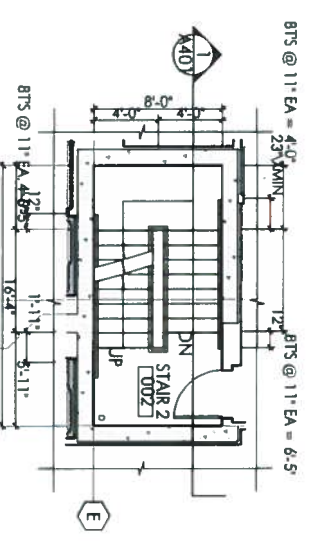
10 STAIR 2 PLAN @ ROOF
3/16" = 1'-0"



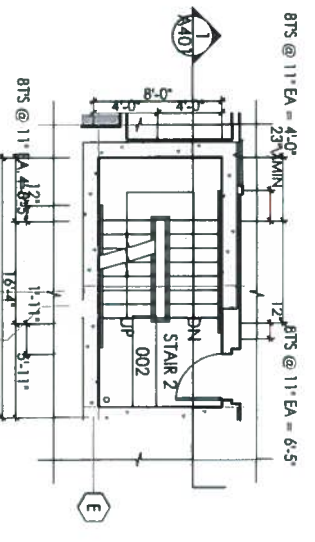
7 STAIR 2 PLAN @ 5TH FLOOR
3/16" = 1'-0"



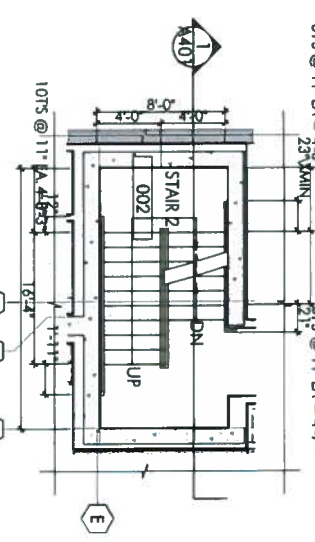
4 STAIR 2 PLAN @ 2ND FLOOR
3/16" = 1'-0"



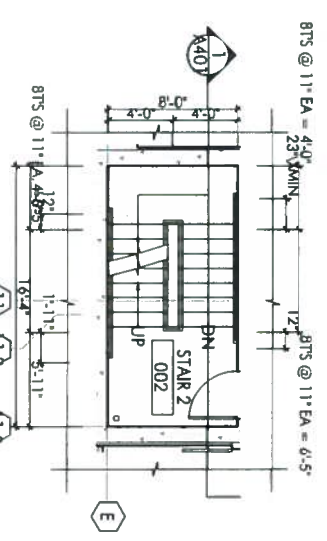
9 STAIR 2 PLAN @ 7TH FLOOR
3/16" = 1'-0"



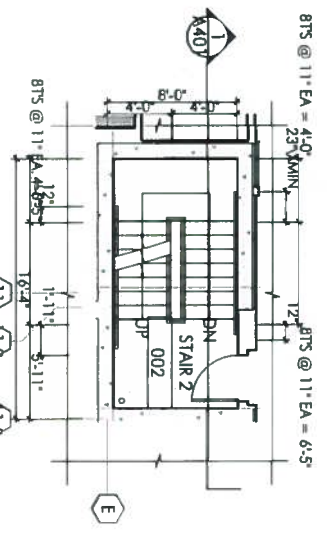
6 STAIR 2 PLAN @ 4TH FLOOR
3/16" = 1'-0"



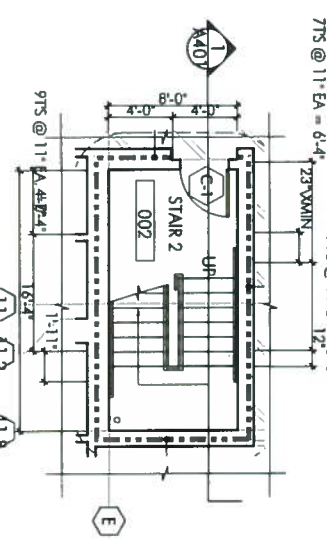
3 STAIR 2 PLAN @ GROUND FLOOR
3/16" = 1'-0"



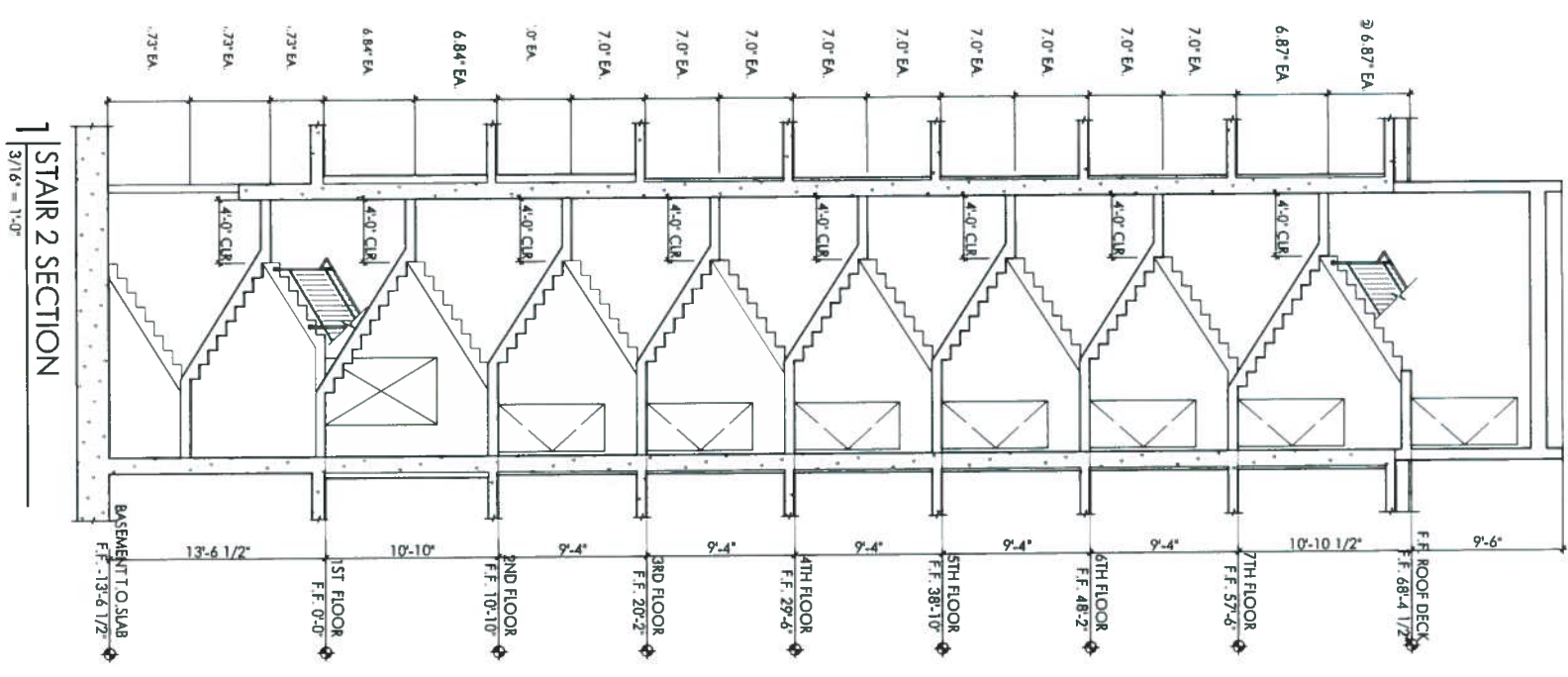
8 STAIR 2 PLAN @ 6TH FLOOR
3/16" = 1'-0"



5 STAIR 2 PLAN @ 3RD FLOOR
3/16" = 1'-0"



2 STAIR 2 PLAN @ BASEMENT LEVEL
3/16" = 1'-0"



1 STAIR 2 SECTION
3/16" = 1'-0"

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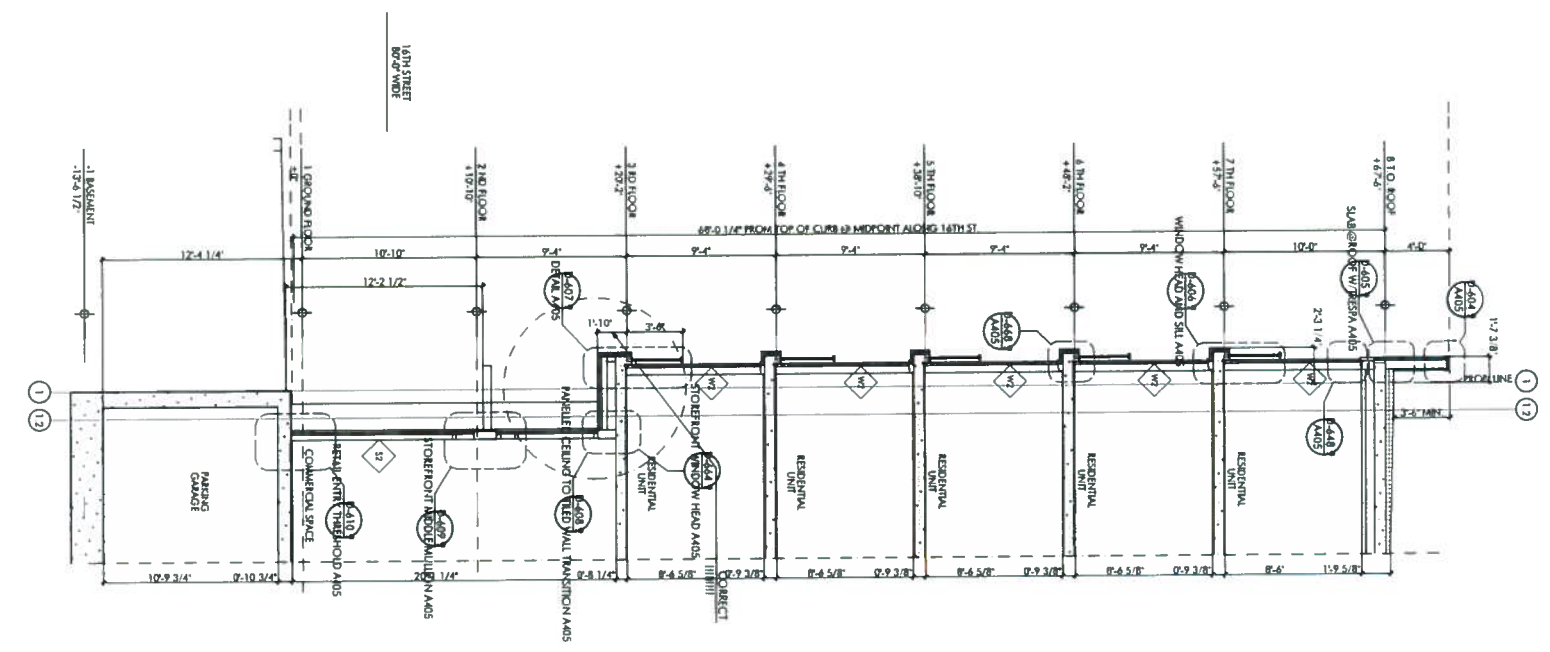
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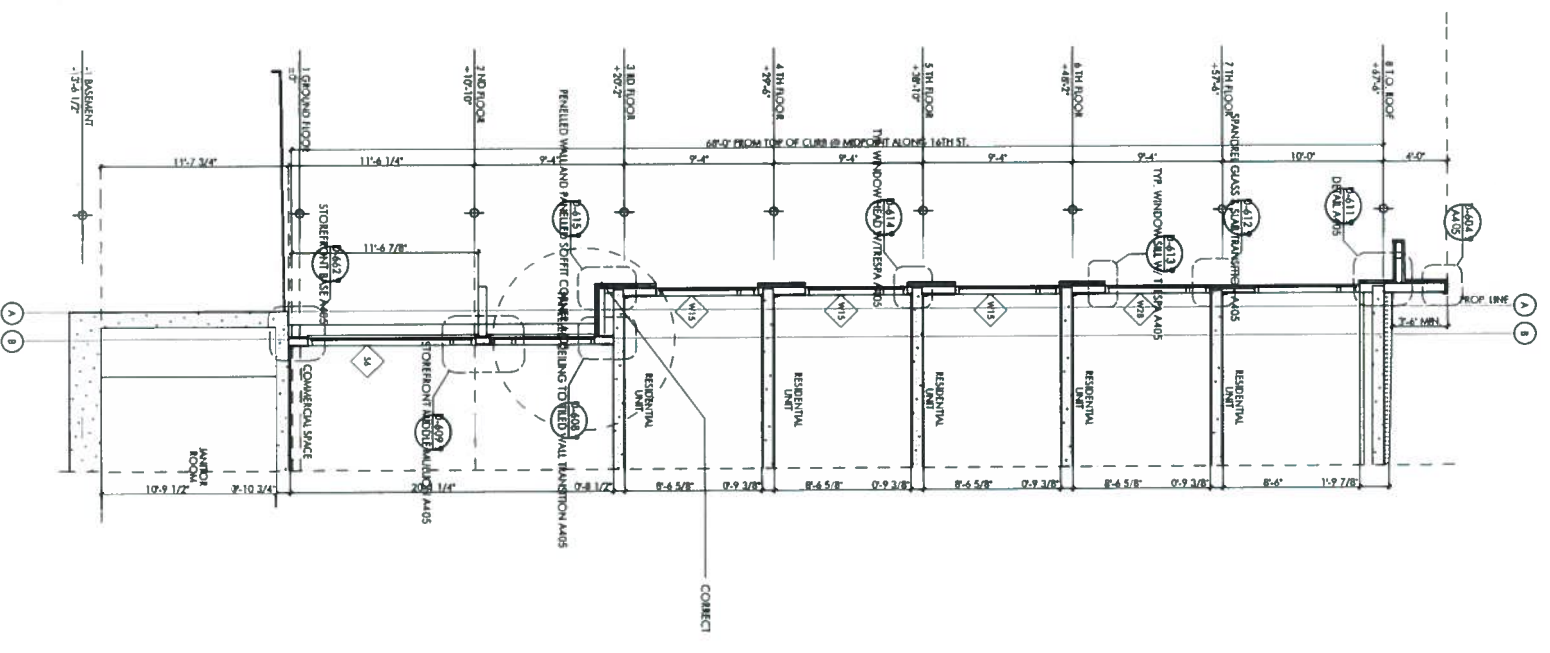
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| 10.02.14 | 1A. PLUMBING APPROVAL |
| 11.25.14 | SITE REVIEW REVISION 2 |

CONSTRUCTION DOCUMENTS

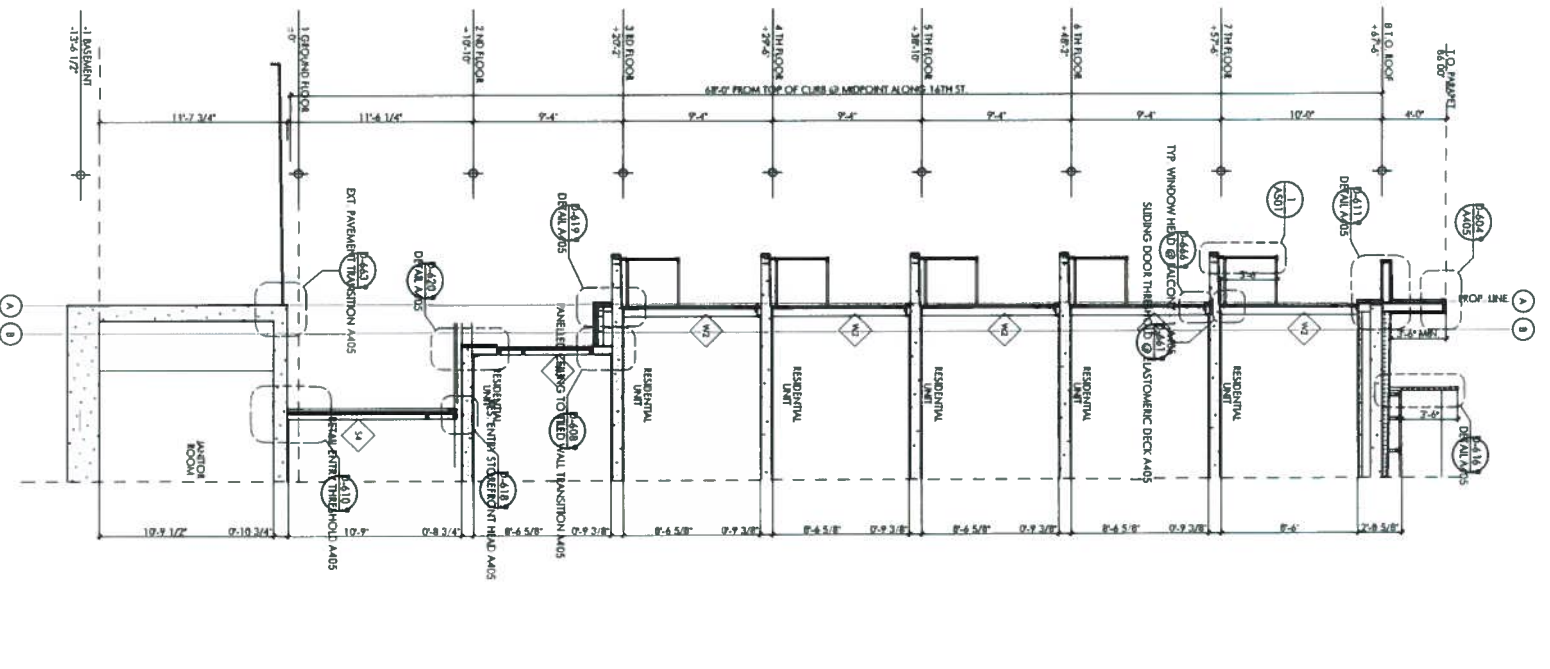
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09004
DATE: 1/29/2015 CHECKED BY: W.S.
SCALE: 3/16" = 1'-0"
SHEET TITLE: WALL SECTIONS
SHEET NUMBER: A406



1 WALL SECTION
3/16" = 1'-0"



2 WALL SECTION
3/16" = 1'-0"



3 WALL SECTION
3/16" = 1'-0"

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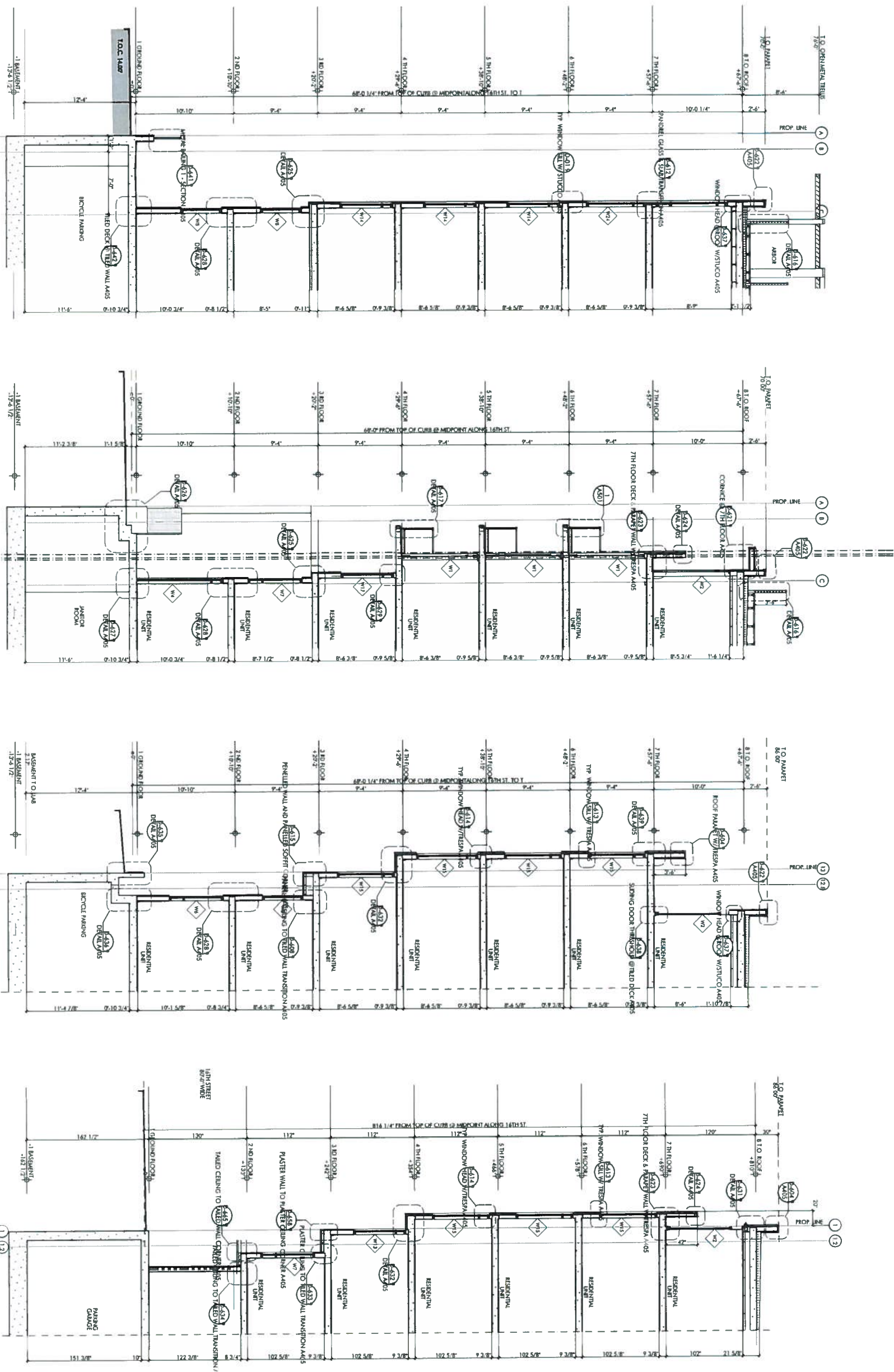


| | |
|----------|------------------------|
| 10/02/14 | DA PLANING APPROVAL |
| 11/25/14 | SITE PERMIT REVISION 7 |

CONSTRUCTION DOCUMENTS

JOB NUMBER: 09704
DATE: 1/29/2015
SCALE: 3/16" = 1'-0"
SHEET TITLE: WALL SECTIONS

DRAWN BY: [Redacted]
CHECKED BY: WS
SHEET NUMBER: **A407**



4 WALL SECTION
3/16" = 1'-0"

3 WALL SECTION
3/16" = 1'-0"

2 WALL SECTION
3/16" = 1'-0"

1 WALL SECTION
3/16" = 1'-0"

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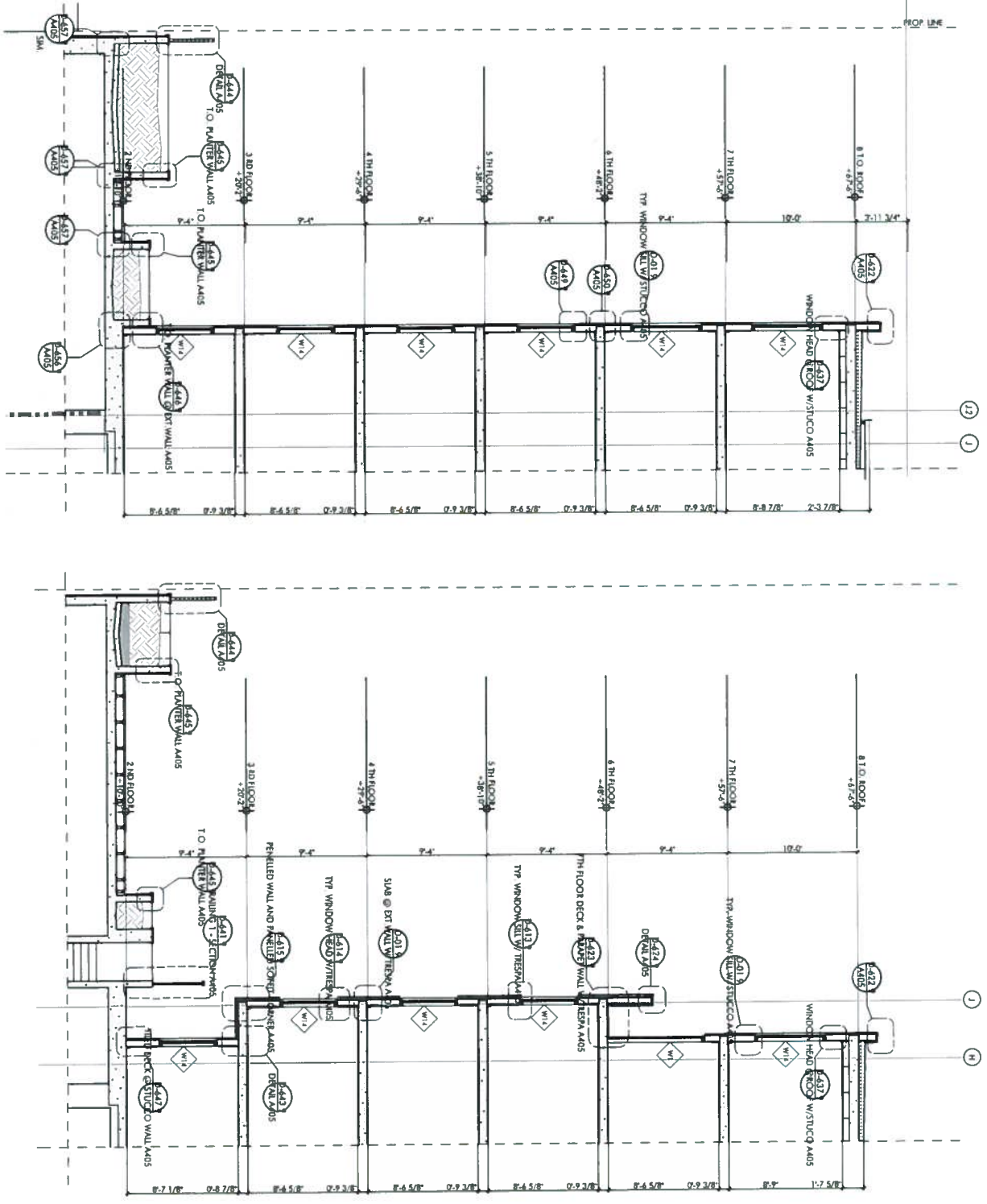


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| 10/27/14 | 10A PLANING APPROVAL |
| 11/25/14 | SITE PLAN REVISION 2 |

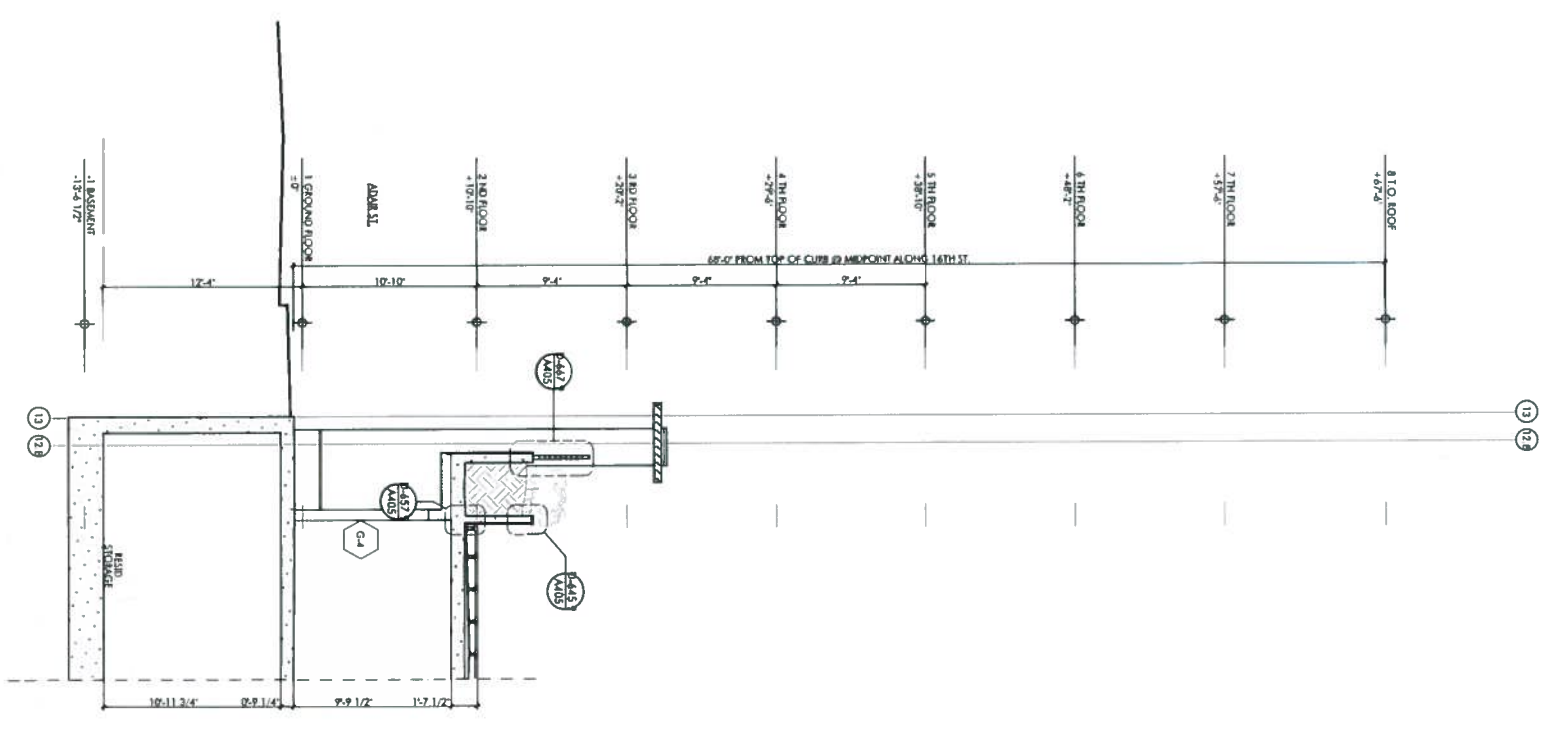
CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004 DRAWN BY:
DATE: 1/29/2015 CHECKED BY: W 5
SCALE: 3/16" = 1'-0"
SHEET TITLE: WALL SECTIONS

SHEET NUMBER: **A408**



2 WALL SECTION
3/16" = 1'-0"



3 WALL SECTION
3/16" = 1'-0"

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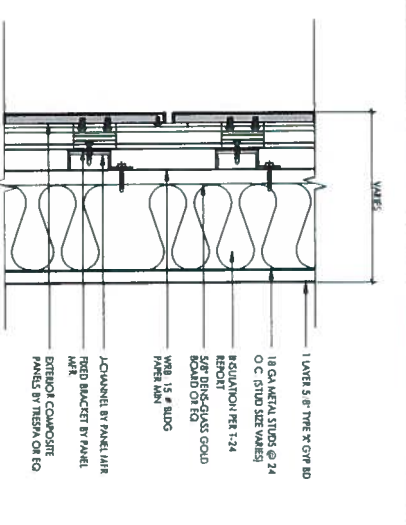
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| 10/21/14 | 04-PARTITION APPROVAL |
| 11/23/14 | SITE PLAN REVIEW 2 |

CONSTRUCTION DOCUMENTS

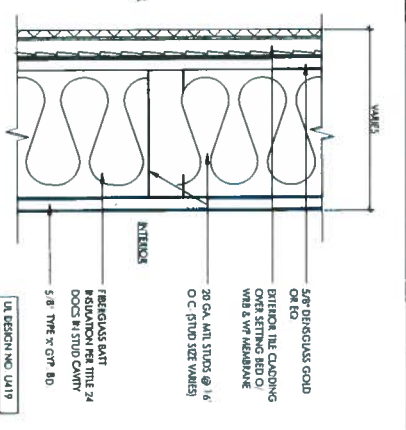
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 DATE: 1/29/2015
 SCALE: 1/2" = 1'-0"

SHEET TITLE: PARTITION TYPES
 SHEET NUMBER: A500

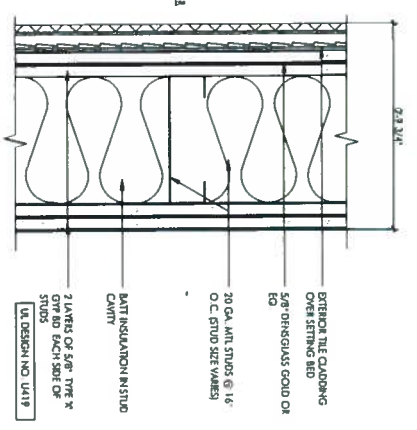
CHECKED BY: W.S.
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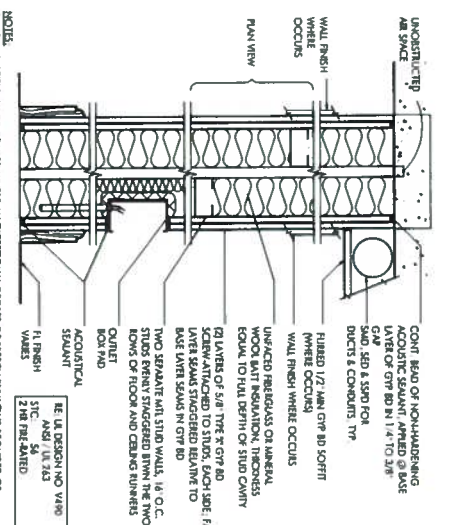
03 EXTERIOR WALL W/ COMPOSITE PANEL CLADDING
 SCALE: 3/4"=1'-0"



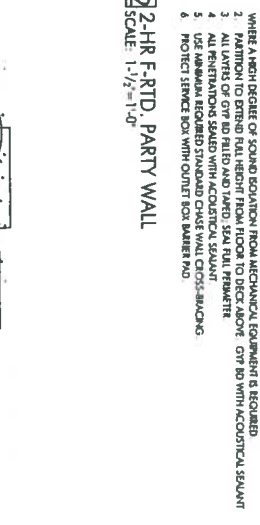
07 1-HR F-RTD. EXTERIOR WALL W/ TILE CLADDING
 SCALE: 3/4"=1'-0"



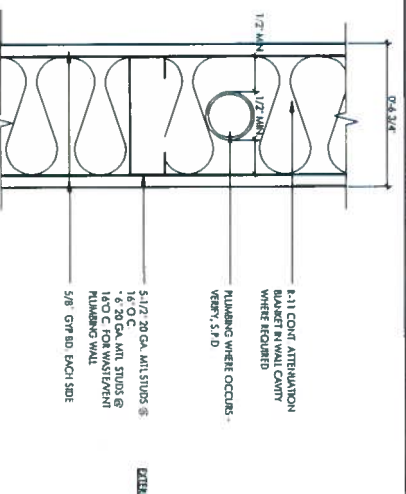
06 2-HR F-RTD. EXTERIOR WALL W/ TILE CLADDING
 SCALE: 3/4"=1'-0"



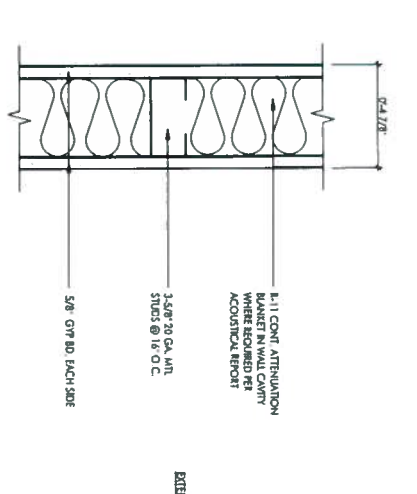
02 2-HR F-RTD. PARTY WALL
 SCALE: 1 1/2"=1'-0"



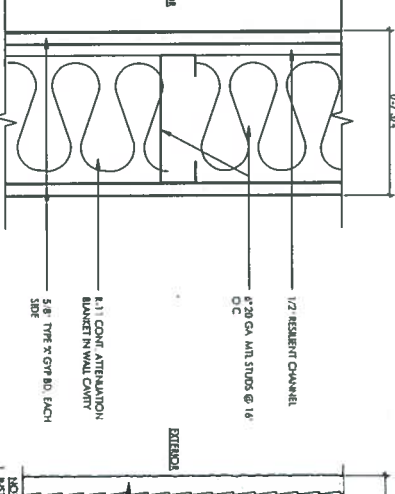
01 1-HR F-RTD. PARTY WALL
 SCALE: 1 1/2"=1'-0"



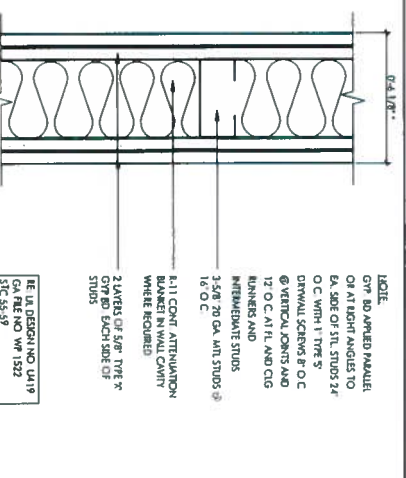
11 PUMPING WALL
 SCALE: 3/4"=1'-0"



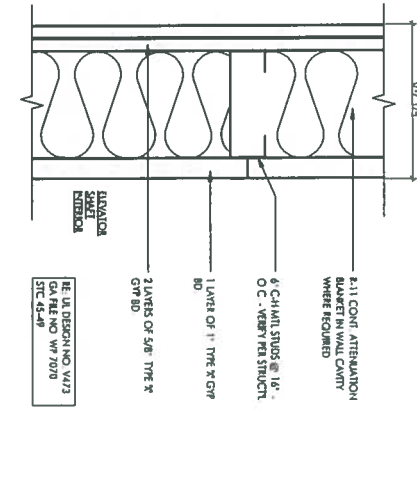
10 NON-RATED INTERIOR WALL
 SCALE: 3/4"=1'-0"



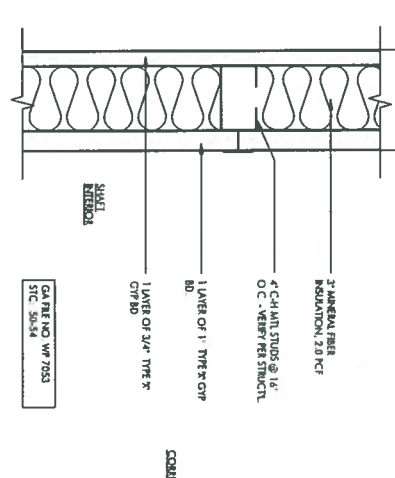
09 1-HR F-RTD. CORRIDOR WALL
 SCALE: 3/4"=1'-0"



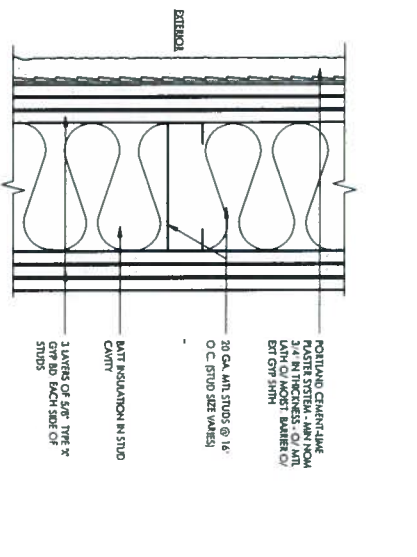
15 2-HR F-RTD. WALL (STAR / ELEV. WALL)
 SCALE: 3/4"=1'-0"



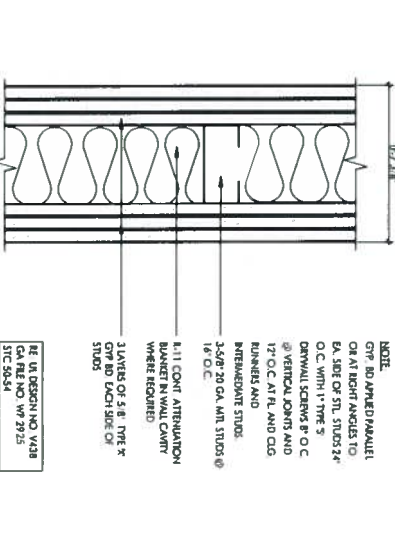
14 2-HR F-RTD. WALL (ELEV. WALL)
 SCALE: 3/4"=1'-0"



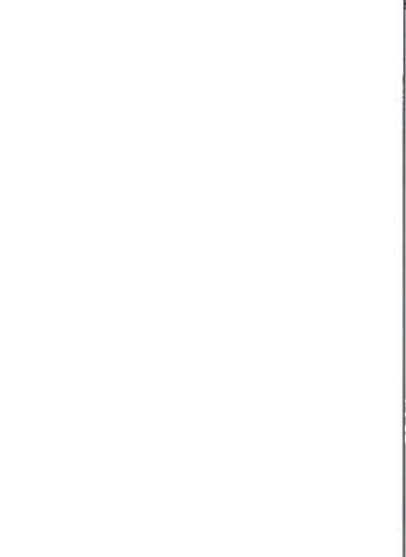
13 2-HR F-RTD. SHAFT WALL
 SCALE: 3/4"=1'-0"



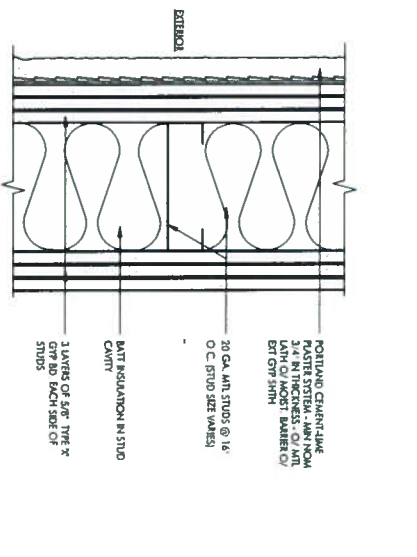
18 3-HR F-RTD. EXTERIOR WALL W/ CEMENT PLASTER
 SCALE: 3/4"=1'-0"



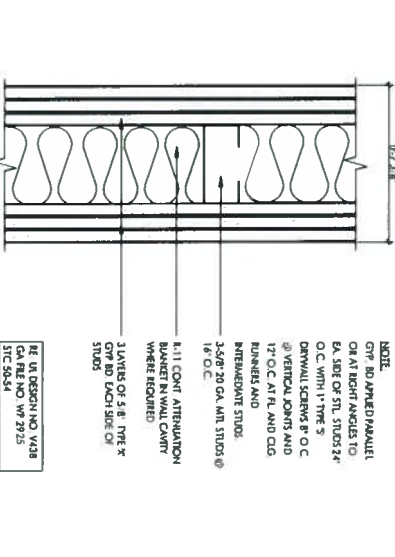
17 3-HR F-RTD. WALL
 SCALE: 3/4"=1'-0"



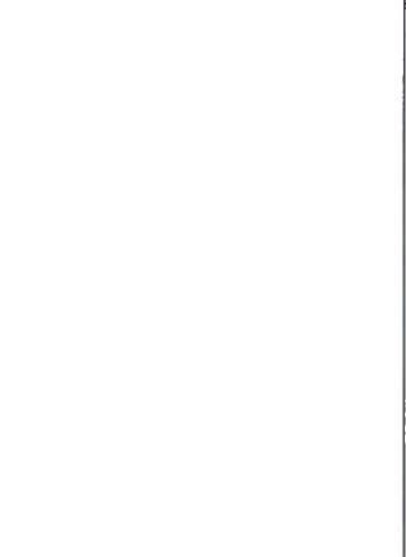
16 2-HR F-RTD. INTERIOR WALL
 SCALE: 3/4"=1'-0"



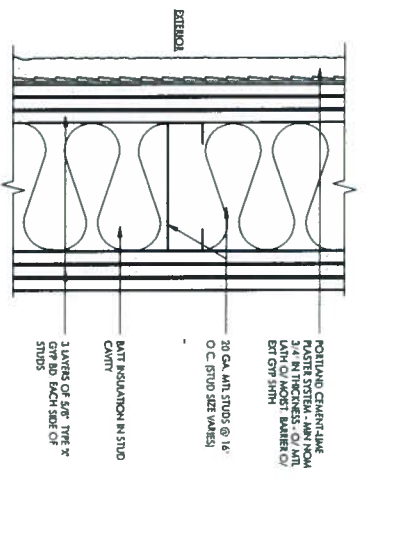
12 FURRING @ STRUCTURE
 SCALE: 3/4"=1'-0"



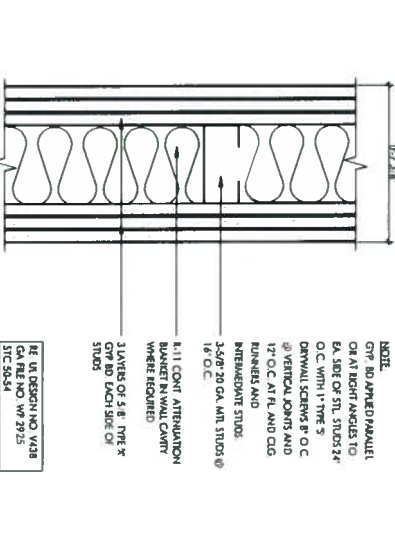
11 1-HR F-RTD. ACOUS WALL
 SCALE: 3/4"=1'-0"



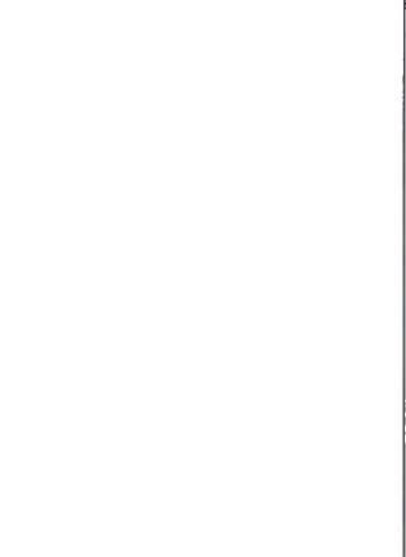
08 2-HR F-RTD. ACOUS WALL
 SCALE: 3/4"=1'-0"



04 2-HR F-RTD. EXTERIOR CEMENT PLASTER
 SCALE: 3/4"=1'-0"



05 EXTERIOR CEMENT PLASTER @ STRUCTURE FURRING
 SCALE: 3/4"=1'-0"



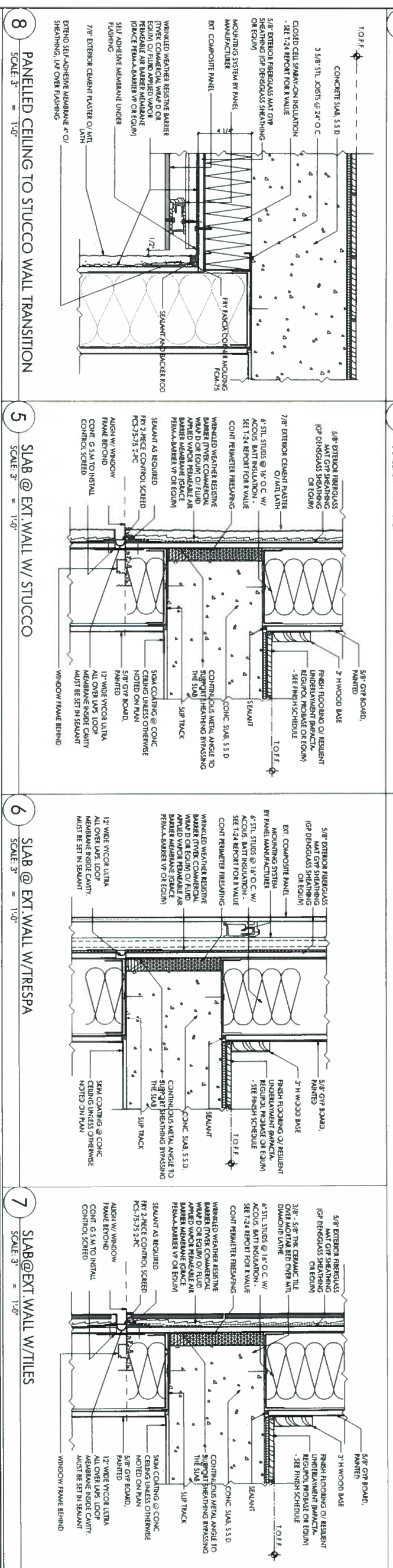
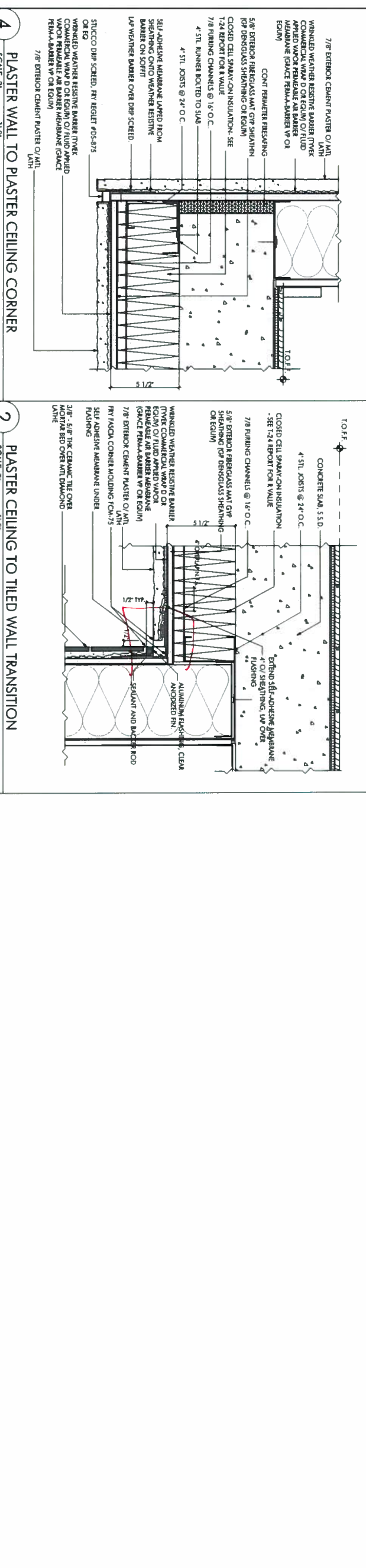
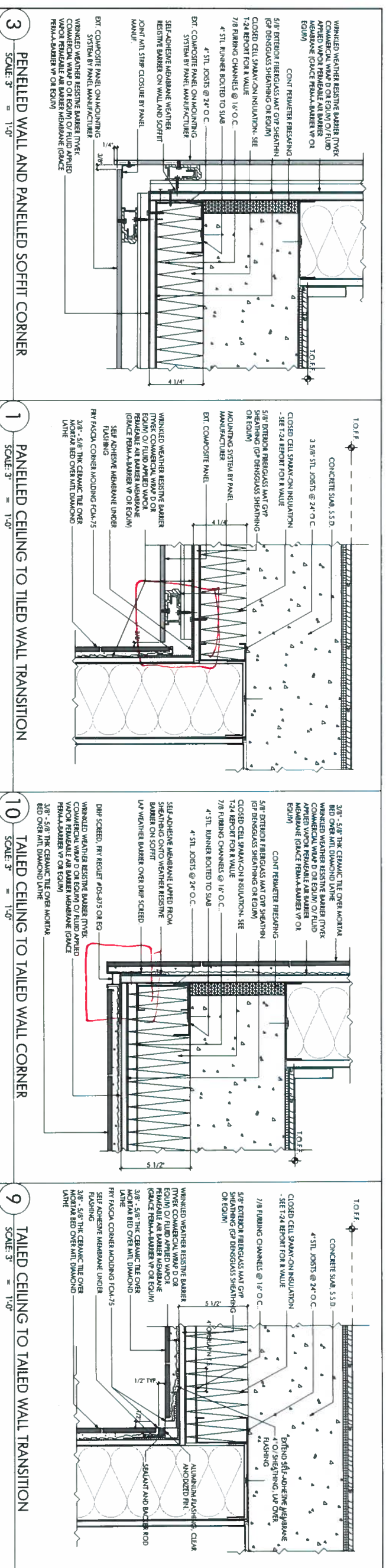
01 1-HR F-RTD. INTERIOR WALL
 SCALE: 3/4"=1'-0"



| | |
|----------|--------------------|
| 10/27/14 | 1A MARKING AMENDAL |
| 11/25/14 | 5/8" GYP BOARD 2 |

CONSTRUCTION DOCUMENTS

| | | | |
|---------------|------------------|-------------|------|
| JOB NUMBER | 09004 | DRAWN BY: | |
| DATE: | 1/27/2015 | CHECKED BY: | W.S. |
| SCALE: | 3" = 1'-0" | | |
| SHEET TITLE | EXTERIOR DETAILS | | |
| SHEET NUMBER: | A502 | | |



490

SOUTH VAN NESS AVENUE

SAN FRANCISCO, CA 94103

FORUM DESIGN ARCHITECTS

The architecture office of Werner Schmidt

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F 415. 252 9020 T 415. 252 7063

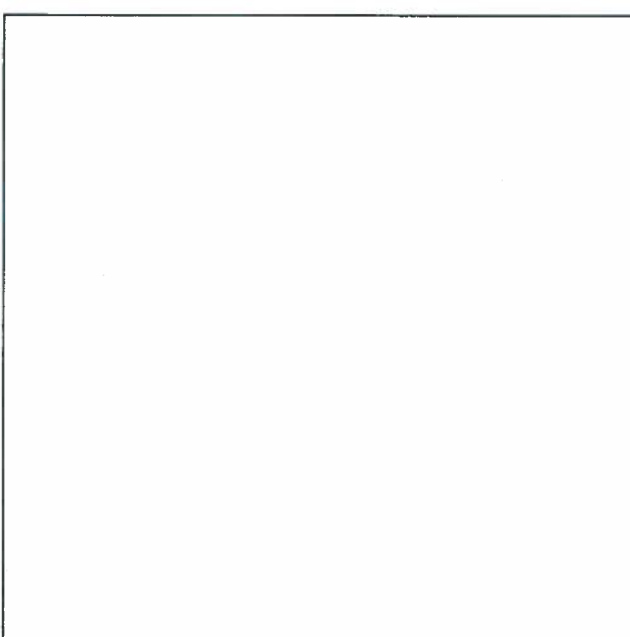
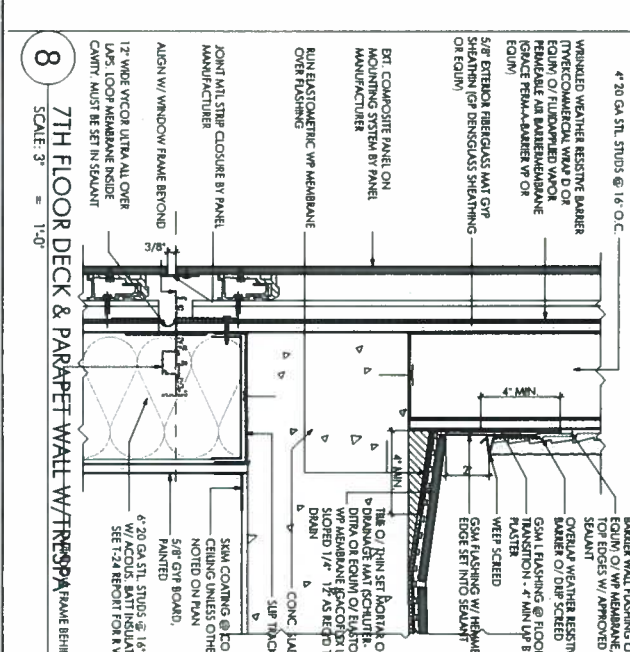
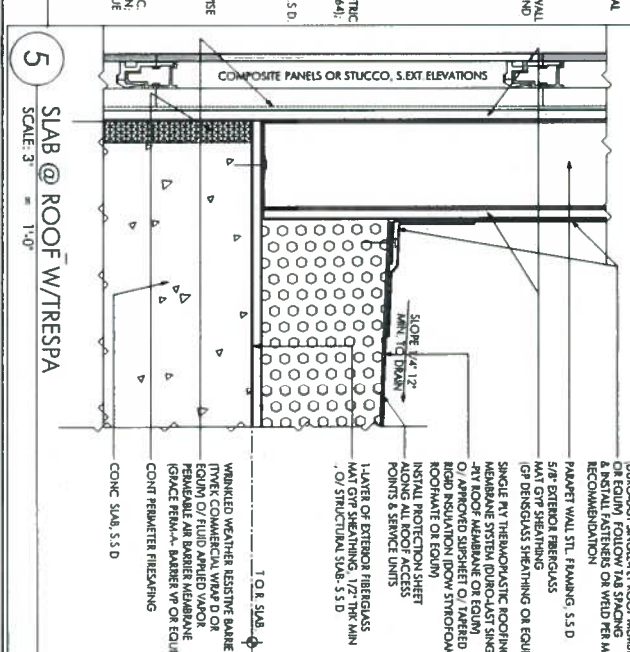
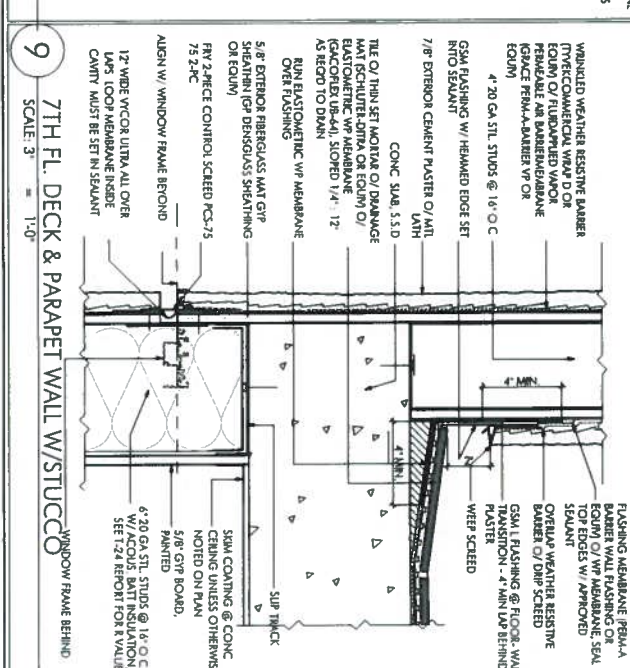
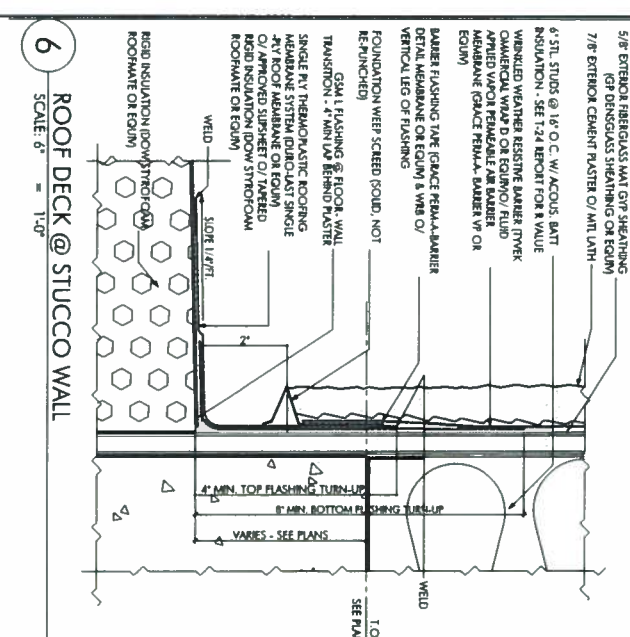
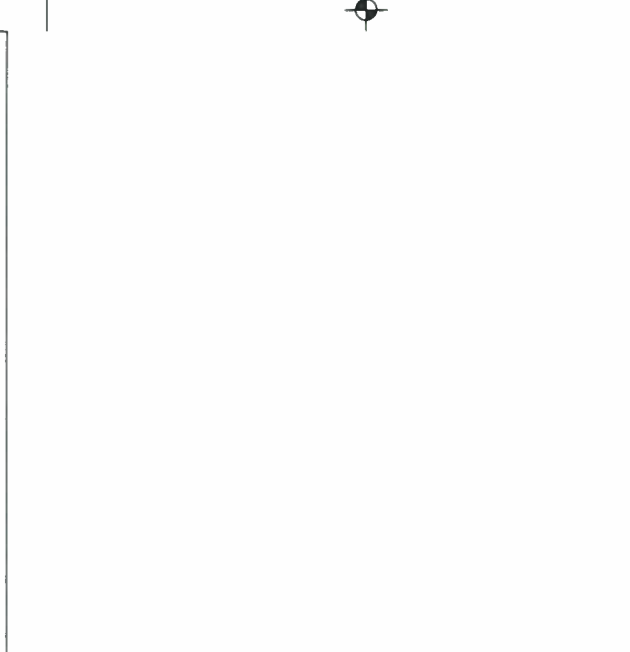
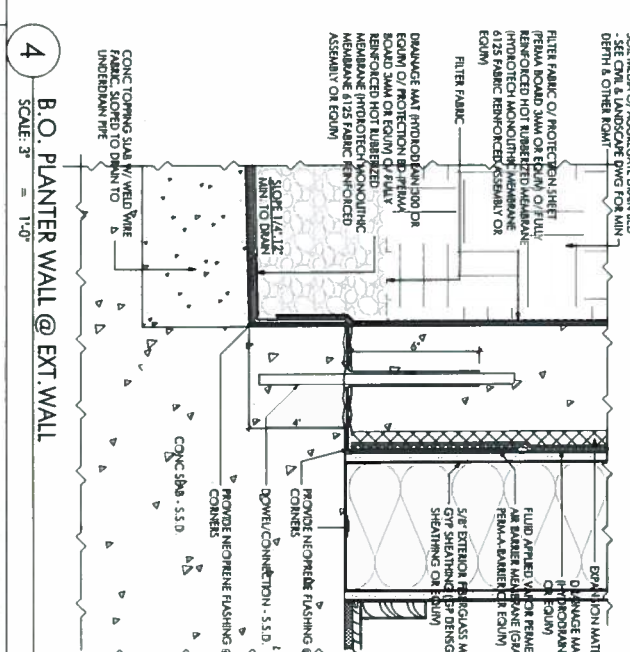
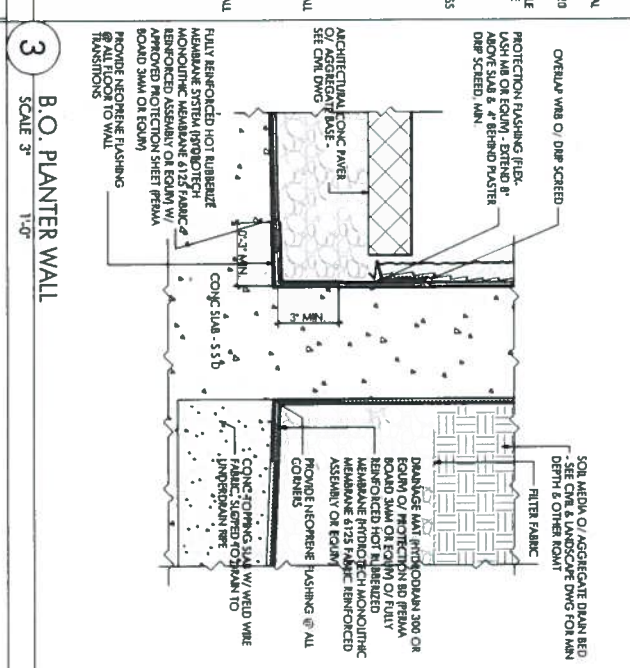
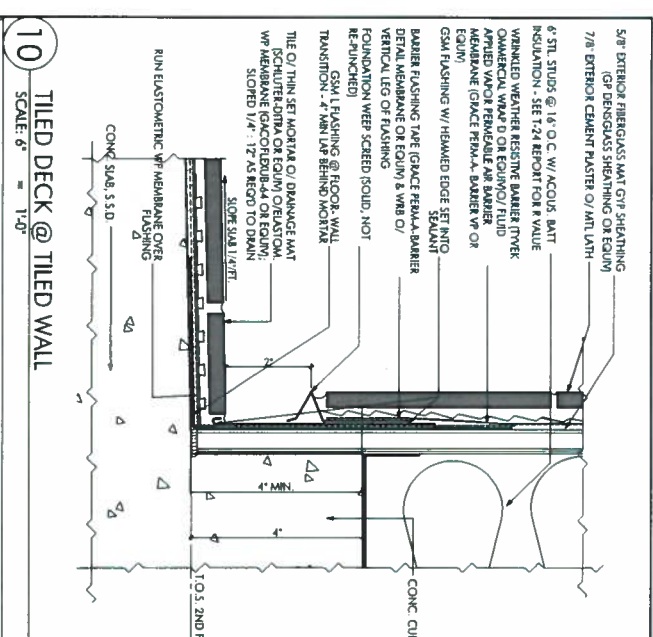
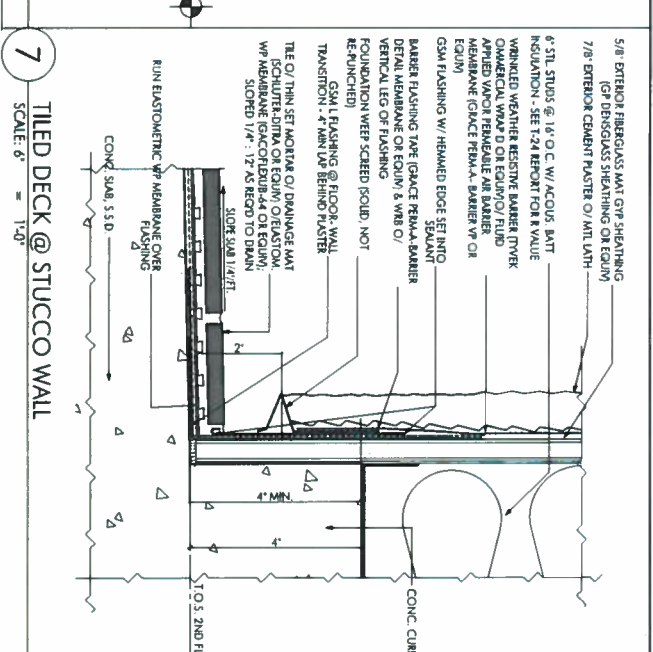
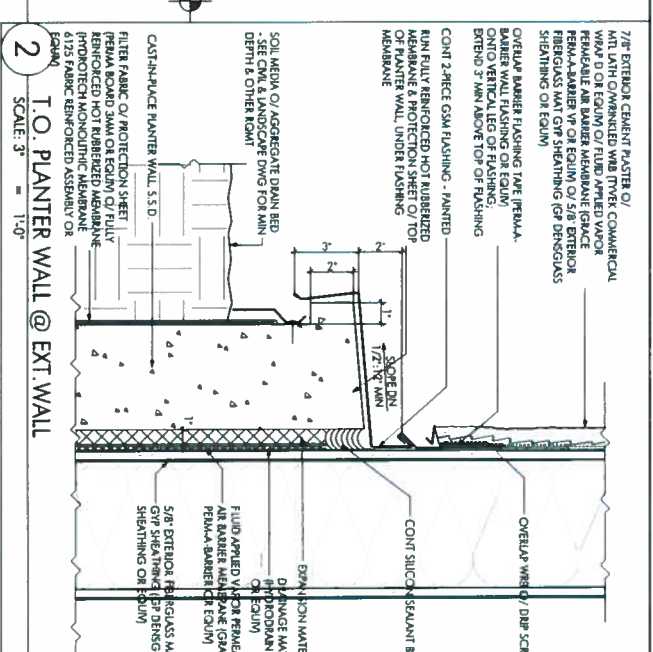
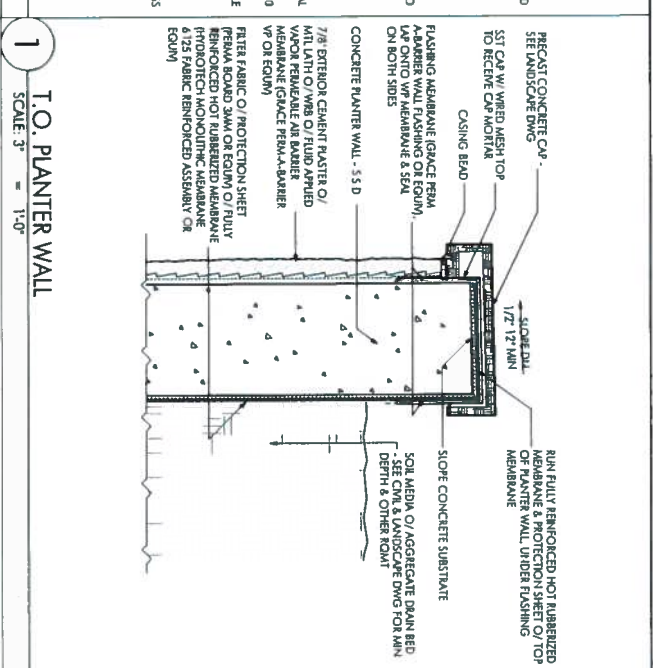
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| | |
|----------|---------------------------|
| 11.02.14 | 1/A. PRELIMINARY APPROVAL |
| 11.25.14 | 3/E. FINAL REVISION 2 |

CONSTRUCTION DOCUMENTS

| | | | |
|---------------|------------------|-------------|------|
| JOB NUMBER: | 09004 | DRAWN BY: | |
| DATE: | 1/27/2015 | CHECKED BY: | W.S. |
| SCALE: | 3" = 1'-0" | | |
| SHEET TITLE: | EXTERIOR DETAILS | | |
| SHEET NUMBER: | A503 | | |



490 SOUTH VAN NESS AVENUE

SAN FRANCISCO, CA 94103

FORUM DESIGN
 ARCHITECTS
 The architecture office of Werner Schmolke

1014 Howard Street San Francisco, CA 94103
 F 415 252.9020 T 415 252.7063

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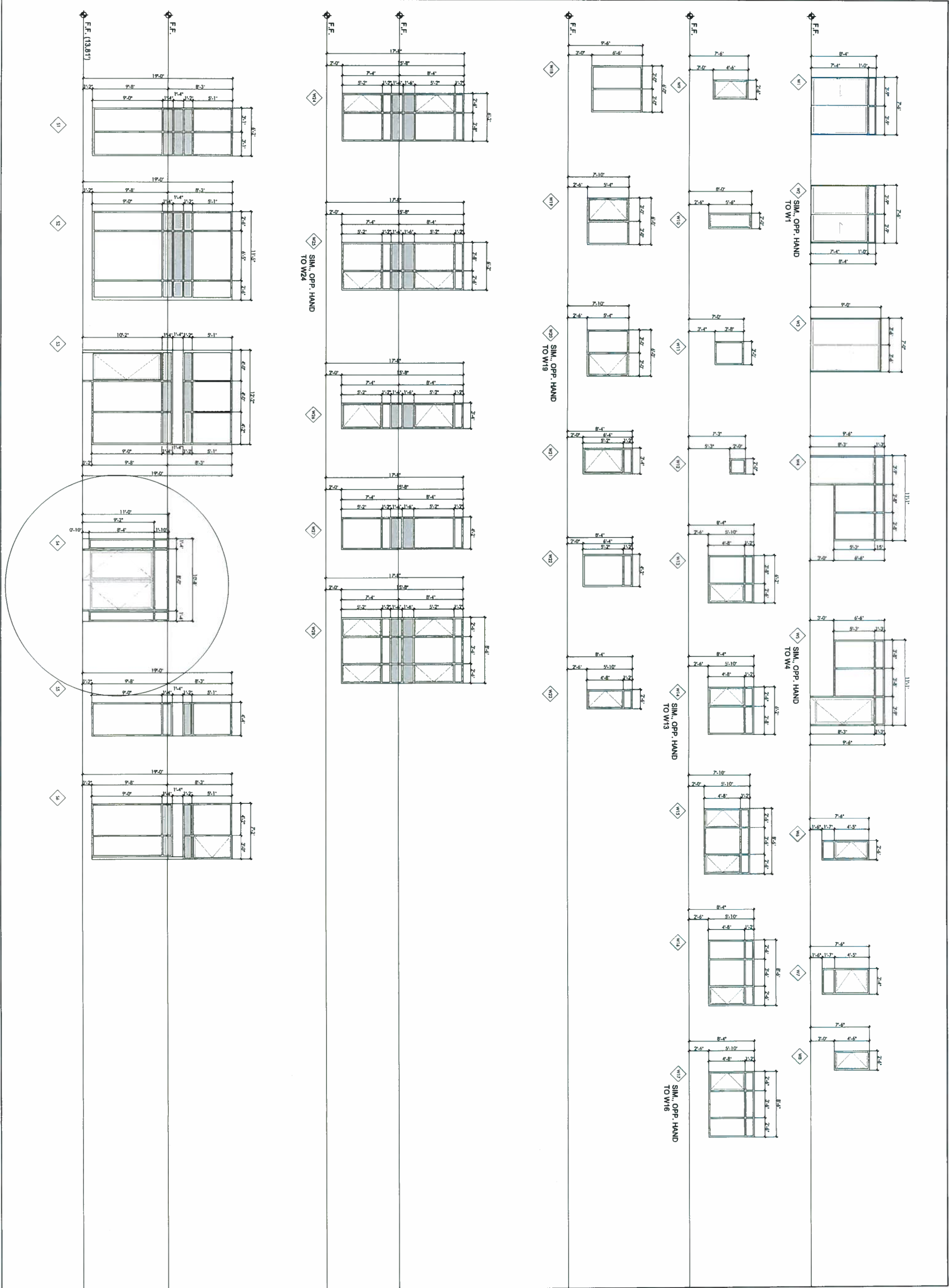


| | |
|----------|------------------------|
| 10.02.14 | LA NUMBER APPROVAL |
| 11.25.14 | SITE PERMIT REVISION 2 |

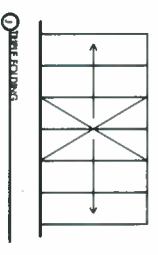
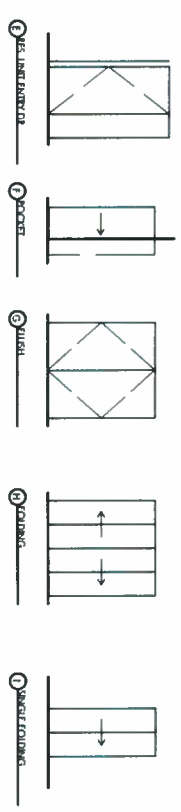
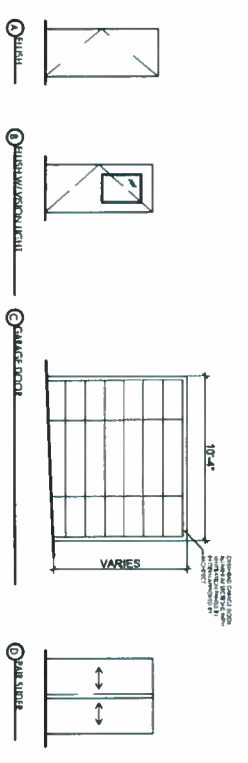
CONSTRUCTION DOCUMENTS

JOB NUMBER: 09004
 DATE: 1/27/2015
 SCALE: 3/16" = 1'-0"
 SHEET TITLE: WINDOW TYPES

SHEET NUMBER: **A601**



DOOR TYPES



DOOR SCHEDULE LEGEND

- HA - HOLLOW METAL
- WB - WOOD CORE COMB
- AL - ALUMINUM
- GL - GLASS
- FC - FINGER COATED FINISH
- AND - ANODIZED
- ST - STAIN
- FD - FINISHED SET FACTORY FINISH, SEE HARDWARE SPECIFICATIONS
- BL - BRASS
- PLM - POLYURETHANE

DOOR & HARDWARE NOTES

1. HFC - HET PROTECTED SURFACING
2. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
3. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
4. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
5. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
6. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
7. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
8. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
9. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
10. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT
11. HET VERTICALLY ORIENTED DIMENSION FROM TO HORIZONTAL LINE ONLY VERTICAL UNIT

DOOR SCHEDULE

| OR NO | DOOR NO | TYPE | FIN | HW | HT | WT | RTG | HTG | REMARKS |
|---------------------|----------|------|-----|----|----|----|-----|---------|--|
| BASEMENT | | | | | | | | | |
| B1 | 2027802 | 1.2B | HA | FD | A | | | 60 LBS | |
| B2 | 2027802 | 1.2B | HA | FD | A | | | | ELECTRICAL ROOM |
| B3 | 6027802 | 1.2B | HA | FD | O | | | | |
| GROUND FLOOR | | | | | | | | | |
| G1 | 6027802 | 1.2B | HA | FD | C | | | 180 LBS | TRANSOM W/ GLASS |
| G2 | 2027802 | 1.2B | HA | FC | B | | | 60 LBS | |
| G3 | 2027802 | 1.2B | HA | FD | B | | | | TRANSOM W/ GLASS |
| G4 | 17027802 | 1.2B | AL | FC | C | | | | GLASS DOOR, HET VERTICAL, COORD. WITH RING |
| G5 | 2027802 | 1.2B | HA | FD | C | | | | GLASS |

TYPICAL RESIDENTIAL UNIT

| | | | | | | | | | |
|-----|----------|------|----|----|---|--|--|--|--|
| U1 | 2027802 | 1.2B | WB | FD | A | | | | |
| U2 | 2027802 | 1.2B | WB | FD | A | | | | |
| U3 | 2027802 | 1.2B | WB | FD | I | | | | |
| U4 | 2027802 | 1.2B | WB | FD | I | | | | |
| U5 | 2027802 | 1.2B | WB | FD | I | | | | |
| U6 | 2027802 | 1.2B | WB | FD | H | | | | |
| U7 | 2027802 | 1.2B | WB | FD | H | | | | |
| U8 | 2027802 | 1.2B | WB | FD | H | | | | |
| U9 | 2027802 | 1.2B | WB | FD | H | | | | |
| U10 | 2027802 | 1.2B | WB | FD | H | | | | |
| U11 | 2027802 | 1.2B | WB | FD | J | | | | |
| U12 | 1027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U13 | 1027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U14 | 1027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U15 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U16 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U17 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U18 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U19 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U20 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U21 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U22 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U23 | 2027802 | 1.2B | WB | FD | D | | | | THIS UNIT IS A BUNK ROOM, ATTACHED TO THE UNIT ABOVE. IT IS TO BE USED AS A BUNK ROOM. |
| U24 | 21027802 | 1.2B | WB | FD | F | | | | |

RESIDENTIAL CORRIDOR

| | | | | | | | | | |
|----|---------|------|----|----|---|--|--|--------|--|
| C1 | 2027802 | 1.2B | HA | FD | A | | | | |
| C2 | 2027802 | 1.2B | HA | FD | A | | | | |
| C3 | 2027802 | 1.2B | HA | FD | H | | | | |
| C4 | 2027802 | 1.2B | WB | FD | A | | | 20 LBS | |

ROOF LEVEL

| | | | | | | | | | |
|----|---------|------|----|----|---|--|--|--------|--|
| R1 | 2027802 | 1.2B | HA | FD | A | | | 60 LBS | |
| R2 | 2027802 | 1.2B | HA | FD | B | | | 60 LBS | |
| R3 | 6027802 | 1.2B | HA | FD | C | | | | |

490 SOUTH VAN NESS AVENUE
 SAN FRANCISCO, CA 94103

FORUM DESIGN
 ARCHITECTS

The architecture office of Werner Schmidt

1014 Howard Street San Francisco, CA 94103
 P 415.252.7020 F 415.252.7083

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10.02.14 DA PLANNING APPROVAL
 11.25.14 SITE REVIEW APPROVAL 2

CONSTRUCTION DOCUMENTS

JOB NUMBER: DRAWN BY:
 DATE: 1/29/2015 CHECKED BY: W.S.
 SCALE: 3/16" = 1'-0"
 SHEET TITLE: DOOR SCHEDULE
 SHEET NUMBER: A602

FINISH SCHEDULE

| ROOM NAME | ROOM NUMBER | FLOOR | MATERIAL | BASE | WALLS | CEILING | REMARKS |
|------------------------|--|-------|----------|------|-------|---------|--|
| BASMENT ELEVATOR LOBBY | 005 | XXX | XXX | XXX | XXX | XXX | |
| ELEVATOR | 003, 004 | XXX | XXX | XXX | XXX | XXX | |
| ELECTRICAL ROOM | 009 | XXX | XXX | XXX | XXX | XXX | |
| JANITOR ROOM | 012 | XXX | XXX | XXX | XXX | XXX | |
| BICYCLE STORAGE | 010 | XXX | XXX | XXX | XXX | XXX | |
| STORAGE ROOM | 008, 011 | XXX | XXX | XXX | XXX | XXX | PARTITIONS: HEAVY DUTY METAL CAGE OR AS SPECIFIED BY OWNER |
| PARKING GARAGE | 006, 114 | XXX | XXX | XXX | XXX | XXX | |
| STAIRS | 001, 002 | XXX | XXX | XXX | XXX | XXX | |
| TRASH/RECYCLING | 113 | XXX | XXX | XXX | XXX | XXX | |
| DRY ROOM WALK | 116 | XXX | XXX | XXX | XXX | XXX | |
| RESIDENTS MEETING ROOM | 121 | XXX | XXX | XXX | XXX | XXX | |
| COMMERCIAL | 120 | XXX | XXX | XXX | XXX | XXX | |
| RESIDENTIAL LOBBY | 110 | XXX | XXX | XXX | XXX | XXX | |
| MALL ROOM | 111 | XXX | XXX | XXX | XXX | XXX | |
| CORRIDOR | 112, 223, 224, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000 | | | | | | |

FINISH SCHEDULE - RESIDENTIAL UNITS

| ROOM NAME | FLOOR | MATERIAL | BASE | WALL | CEILING | REMARKS |
|------------------------------------|---------------------|-----------------|---------|------|---------|---------|
| ENTRY CLOSET | F3 | B1 | F3 | F3 | C2 | |
| W/D CLOSET | F4 | B4 | F5 | F5 | C2 | |
| POWDER ROOM | F4 | B1 | P6, G11 | F5 | C2 | |
| KITCHEN | F4 | B1 | WD | WD | C2 | |
| LIVING | F4 | B1 | F5 | F5 | C2 | |
| DINING | F4 | B1 | F5 | F5 | C2 | |
| HALL | F4 | B1 | F5 | F5 | C2 | |
| BEDROOM | C4 | B1 | F5 | F5 | C2 | |
| BATHROOM | F3 | B3 | P6, G11 | F5 | C2 | |
| BEDROOM CLOSET | C4 | B1 | F5 | F5 | C2 | |
| LINEN/PANTRY/STOCK | MATCH ADJ. F FINISH | MATCH ADJ. BASE | F5 | F5 | C2 | |
| STUDY | F4 | B1 | F5 | F5 | C2 | |
| ALCOVE | F3 | B3 | P6, G11 | F5 | C2 | |
| PRIVATE DECKS - FLOORS 3 THROUGH 7 | F10 | N/A | F1 | F1 | C13 | |

FINISH LEGEND

| | | | | | | | | | |
|-----------------|---|----------------------|------|---|----------------------|------|---------------------------|----------------------|------|
| FLOORING | F1 SEALED CONCRETE | MFG. DIMS: | T8.5 | F4 ENGINEERED WOOD FLOORING | MFG. DIMS: | T8.5 | C1 CARPET (FIELD) | MFG. COLOR, PATTERN: | T8.5 |
| | F2 STONE TILE | MFG. DIMS: | T8.5 | F7 W/NTL COMPOSITION TILE | MFG. COLOR: | T8.5 | C2 CARPET (BOARDS) | MFG. COLOR, PATTERN: | T8.5 |
| | F3 STONE TILE | MFG. DIMS: | T8.5 | F8 STONE PAVING TILE | MFG. COLOR, PATTERN: | T8.5 | C3 CARPET | MFG. COLOR, PATTERN: | T8.5 |
| | F4 CERAMIC TILE | MFG. DIMS: | T8.5 | F9 WATERPROOF MEMBRANE/EXT COATING | MFG. COLOR, PATTERN: | T8.5 | C4 CARPET | MFG. COLOR, PATTERN: | T8.5 |
| | F5 CERAMIC TILE | MFG. DIMS: | T8.5 | F10 PORCELAIN TILE ON THIN SET | MFG. COLOR, PATTERN: | T8.5 | | | |
| BASE | B1 WOOD (PAINTED) | MFG. SPECIE, HEIGHT: | T8.5 | | | | | | |
| | B2 RUBBER BASE | MFG. HEIGHT: | T8.5 | | | | | | |
| | B3 STONE TILE | MFG. COLOR, HEIGHT: | T8.5 | | | | | | |
| | B4 CERAMIC TILE | MFG. COLOR, HEIGHT: | T8.5 | | | | | | |
| WALLS | F1 PAINT WATER-RESIST. PARTITION | MFG. COLOR: | T8.5 | G11 GLASS TILE | MFG. COLOR, DIMS: | T8.5 | | | |
| | F2 PAINT PARTITION | MFG. COLOR: | T8.5 | S11 STONE TILE | MFG. COLOR: | T8.5 | | | |
| | F3 PAINT | MFG. COLOR: | T8.5 | F1 PLASTER FINISH LEVEL 4 | MFG. COLOR: | T8.5 | | | |
| | F4 PAINT | MFG. COLOR: | T8.5 | W1 WOOD PANEL | MFG. COLOR: | T8.5 | | | |
| | F5 PAINT | MFG. COLOR: | T8.5 | | | | | | |
| CEILING | C1 BRICKED STRUCTURE | MFG. COLOR: | T8.5 | | | | | | |
| | C2 PAINTED GYP. BD. | MFG. COLOR: | T8.5 | | | | | | |
| | C3 PLASTER FINISH LEVEL 4 | MFG. COLOR: | T8.5 | | | | | | |

I. GENERAL

- GYP. BD. SHALL BE LEVEL 4 FINISH TOP THROUGHOUT, U.O.N.
 - INSTALL INT. CORNER GUARDS AT ALL OUTSIDE CORNERS IN SERVICE CORRIDORS.
 - ALL INT. CARPET TO BE INSTALLED OVER PAID. SEE INTERIOR DESIGNER'S SPEC.
 - ALL INT. FLOOR FINISH INSTALLED OVER HARDWARE SPACE (SPACE FOR LIVING, SITTING, EATING OR COOKING) SHALL BE INSTALLED OVER A LAYER OF ACOUSTIC UNDERLAYMENT PAD. SEE INTERIOR DESIGNER'S SPEC.
 - THE FINISH PLAN INDICATES TYPES & EXTENT OF FINISHES. REFER TO OTHER CONTRACT DOCUMENTS FOR ADD'L INFORMATION.
 - SUBMIT TWO (2) SAMPLES OF EX. FINISH & FL. COVERING TO ARCHT FOR REVIEW BEFORE BEGINNING WORK.
 - SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
- II. MILLWORK FINISHES**
- WOOD FINISH: MAPLE, BIRCH OR ALDER OR EQUIV. PAINT GRADE - SEE SPECS.
 - SUBMIT SHOP DWGS. OF ALL MILLWORK FOR REVIEW PRIOR TO FABRICATION
 - VERIFY ALL DIMS. BEFORE FABRICATION OF ANY CASEWORK
 - ALL WORK SHALL BE PROPERLY LAD-OUT, CLOSELY FILED, ACCURATELY ROUNDED & ROUSH SECURED IN PLACE
 - SOLID STOCK TOP USED W/ RIVET HEADS SHALL MATCH THE FINISH, U.O.N.
 - SUBGRADING: WD. TRIMS SHALL BE SMOOTHLY MACHINED & SANDED ON EXPOSED SURFACES AS REG'D BY GRADE.
 - EDGE EXPOSED EDGES
 - ALL ANCHORAGE FOR COUNTERS, SHELVING, ETC. SHALL BE CONCEALED TYP., U.O.N.
 - ALL MILLWORK TO BE W/C. CUSTOM GRADE, U.O.N. SEE SPECS.
 - ALL MILLWORK TO BE FLUSH FRAME CONSTRUCTION, U.O.N.
 - ALL MILLWORK SECTIONS AND FINISHING AS SHOWN ON MILLWORK DETAILS. ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY ALL PROPOSED MILLWORK FINISHING AND FINISH DETAILS IN ACCORDANCE WITH SPECIFICATIONS.

III. WALL FINISHES

- ALL COLORS ARE TO BE SELECTED BY THE ARCHITECT.
- EXAMINE ALL SURFACES TO BE FINISHED UNDER THIS CONTRACT & SEE THAT THE WORK OF OTHER TRADES HAS BEEN LEFT OR INSTALLED IN SATISFACTORY CONDITION TO RECEIVE PAINT, STAIN, OR SPECIFIED FINISH.
- ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE SPEC'D FINISH. W/WORK SHALL BE SANDED & DUSTED CLEAN. ALL KNOT HOLES, CRACKS OR OTHER DEFECTS SHALL BE PATCHED & SHELLED, OR SEALED W/ KNOT SEALER. WALL HOLES, CRACKS OR OTHER DEFECTS SHALL BE PATCHED WITH FINISH COAT. W/ PATCH MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE ANY OLD OR EXCESS W/ ABRASIVE SCRUBS.
- INT. W/WORK FINISHES SHALL BE SANDED, STAIN, COATS, GRACES, PATCHES OR IMPERFECTIONS IN PLAS OR BY PD SHALL BE FILLED W/ PATCHING PASTE & SMOOTHED OFF TO MATCH ADJOINING SURFACES.
- INT. GYP. BD. SURFACES SHALL BE WIPED W/ A DAMP CLOTH JUST PRIOR TO APPLICATION OF FIRST COAT, IN ORDER TO LAY FLAT ANY WAY WHICH MAY HAVE FORMED IN THE SANDING PROCESS.
- ALL PAINTED MILLWORK, DES. PAINTED INTL. SHALL BE SHOP FINISHED, UNLESS IT IS A BASE RIDG. W/INT.
- A 2 FT. x 2 FT. SQ. TEST PAINTED AREA @ SITE FOR EX. PAINT SHALL BE PREPARED FOR ARCHT'S ACCEPTANCE PRIOR TO COMMENCEMENT OF PAINT JOB.
- PAINT SCHEDULE
PAINTING OR INT. FINISHING SHALL BE DONE UNDER CONDITIONS WHICH REPRODUCE QUALITY OR APPEARANCE OF SUCH WORK.
WALLS & CEILINGS
1 COAT LATEX PRIMER TINTED
PAINT GRADE WOOD
1 COAT PRIMER UNDERCOAT TINTED
2 COATS SEMI-GLOSS BRUNNEL OR EGGSHELL, WHERE OCCURS
STAIN GRADE WOOD
2 COATS STAIN
1 COAT SEALER
1 COAT LOW SHEEN TO MATCH ARCHT'S SAMPLE
- CLEANING & RETOUCHING
A. AT COMPLETION OF PAINTING, ALL PAINT MATERIALS & EQUIPMENT SHALL BE REMOVED, ALL PAINT SPOTS REMOVED & ALL AREAS THOROUGHLY CLEANED. ANY DIRT OR DEBRIS CAUSED BY WORK SHALL BE CLEANED UP AS WORK PROGRESSES.
B. RETOUCH OR REFINISH PAINTED SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY G.C. THE COST OF SUCH RESTORATION WORK SHALL BE BORNE BY THE TRADE RESPONSIBLE FOR THE DAMAGE.

490 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 941103

FORUM DESIGN
ARCHITECTS

The architecture office of Werner Schmidt

1014 Howard Street San Francisco, CA 94103
P 415 252 8020 T 415 252 7063

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| | |
|----------|-------------------------|
| 10.02.14 | 1/A PLANNING APPROVAL |
| 11.21.14 | 5/10 PERMITS REVISION 2 |

CONSTRUCTION DOCUMENTS

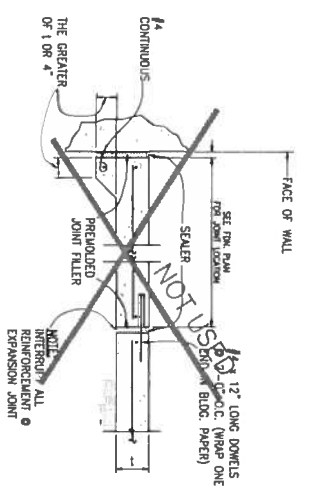
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SHEET NUMBER: **A603**

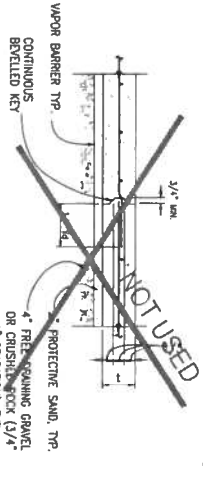
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TYPICAL CONCRETE DETAILS

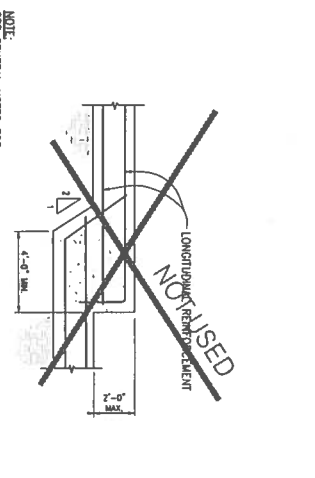
SO.2



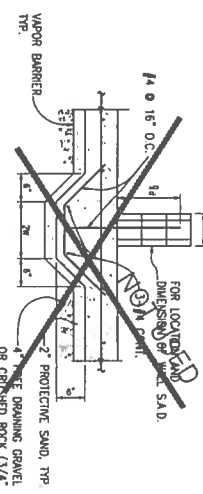
EXPANSION JOINT



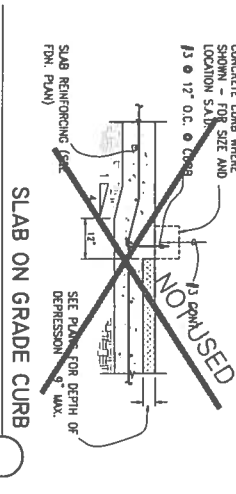
CONSTRUCTION JOINT SLAB ON GRADE



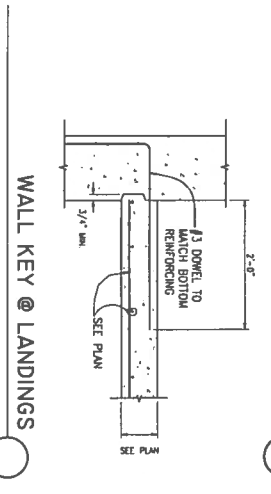
STEPPED FOOTING



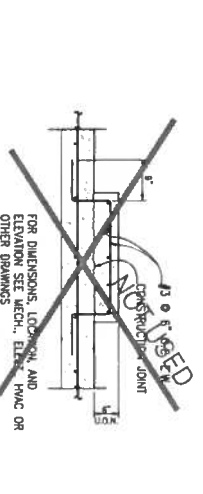
SLAB ON GRADE @ MASONRY WALL



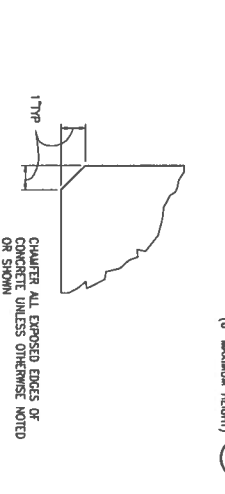
SLAB ON GRADE CURB



WALL KEY @ LANDINGS

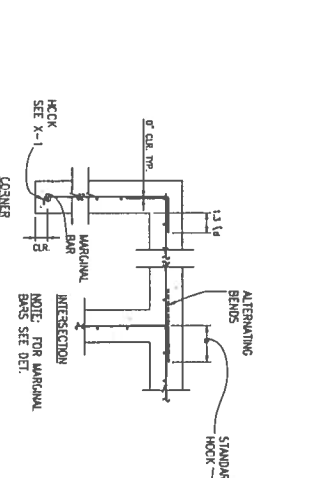


HOUSEKEEPING PAD

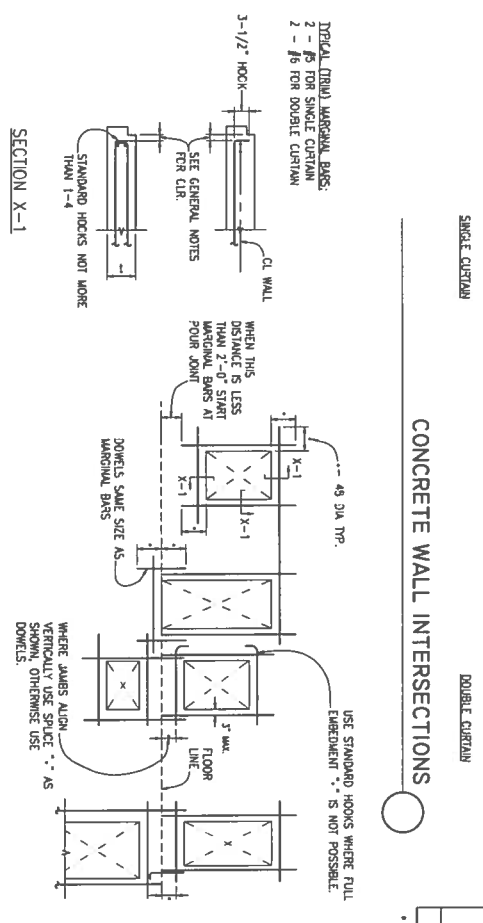


CONCRETE CURB

CHAMFER DETAIL



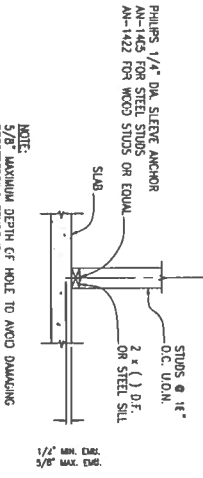
CONCRETE WALL INTERSECTIONS



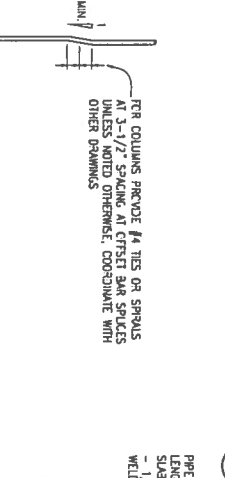
REINFORCING @ CONCRETE WALL OPENINGS

| WALL THICKNESS | SINGLE CURTAIN, AT CENTER OF WALL | | DOUBLE CURTAIN, ONE AT EACH FACE OF WALL | |
|----------------|-----------------------------------|----------|--|----------|
| | VERT. | HORIZ. | VERT. | HORIZ. |
| 4" | #4 @ 15" | #4 @ 14" | #4 @ 15" | #4 @ 14" |
| 6" | #4 @ 15" | #4 @ 12" | #4 @ 15" | #4 @ 18" |
| 10" | #4 @ 11" | #4 @ 10" | #4 @ 15" | #4 @ 18" |
| 12" | #4 @ 15" | #4 @ 15" | #4 @ 15" | #4 @ 18" |
| 14" | #4 @ 15" | #4 @ 14" | #4 @ 15" | #4 @ 14" |
| 16" | #4 @ 15" | #4 @ 12" | #4 @ 15" | #4 @ 12" |
| 18" | #4 @ 15" | #4 @ 10" | #4 @ 15" | #4 @ 10" |

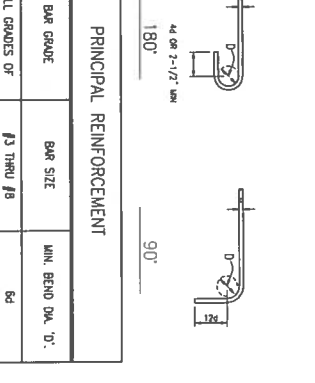
CONCRETE WALL REINFORCING (UNLESS OTHERWISE NOTED)



NON-BEARING PARTITIONS



TYPICAL OFFSET



PRINCIPAL REINFORCEMENT

| BAR GRADE | BAR SIZE | MIN. BEND DIA. 'D' |
|-----------------------------|--------------|--------------------|
| ALL GRADES OF REINFORCEMENT | #3 THRU #8 | 5d |
| | #9 THRU #11 | 6d |
| | #14 THRU #18 | 10d |
| GRADE #40* | #3 THRU #11 | 5d |

* FOR 180° BEND ONLY

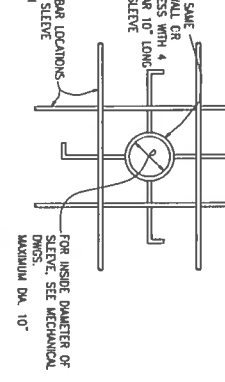
STANDARD HOOKS

| BAR SIZE | CLASS A DEVELOPMENT LENGTH (L _d) (INCHES) | | |
|----------|---|---------------------------|---------------------------|
| | f _c = 3000 PSI | f _c = 4000 PSI | f _c = 5000 PSI |
| #3 | 17 | 15 | 13 |
| #4 | 22 | 19 | 17 |
| #5 | 28 | 24 | 22 |
| #6 | 33 | 29 | 26 |
| #7 | 48 | 42 | 38 |
| #8 | 55 | 48 | 43 |
| #9 | 62 | 54 | 48 |
| #10 | 69 | 60 | 54 |
| #11 | 76 | 66 | 59 |

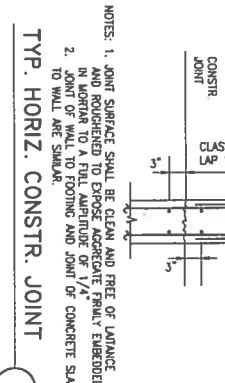
CLASS A DEVELOPMENT LENGTH (L_d) (INCHES)

| BAR SIZE | BAR EMBEDMENT (L _{eh}) (INCHES) | | |
|----------|---|---------------------------|---------------------------|
| | f _c = 3000 PSI | f _c = 4000 PSI | f _c = 5000 PSI |
| #3 | 10 | 8 | 6 |
| #4 | 12 | 9 | 8 |
| #5 | 15 | 11 | 10 |
| #6 | 17 | 13 | 11 |
| #7 | 20 | 15 | 13 |
| #8 | 23 | 17 | 15 |
| #9 | 25 | 19 | 17 |
| #10 | 28 | 21 | 19 |
| #11 | 32 | 24 | 20 |

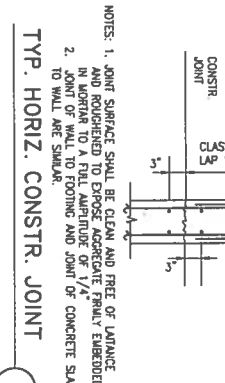
BAR EMBEDMENT (L_{eh}) (INCHES)



SLEEVE DETAIL



BAR DEVELOPMENT LENGTH



BAR EMBEDMENT 'E'

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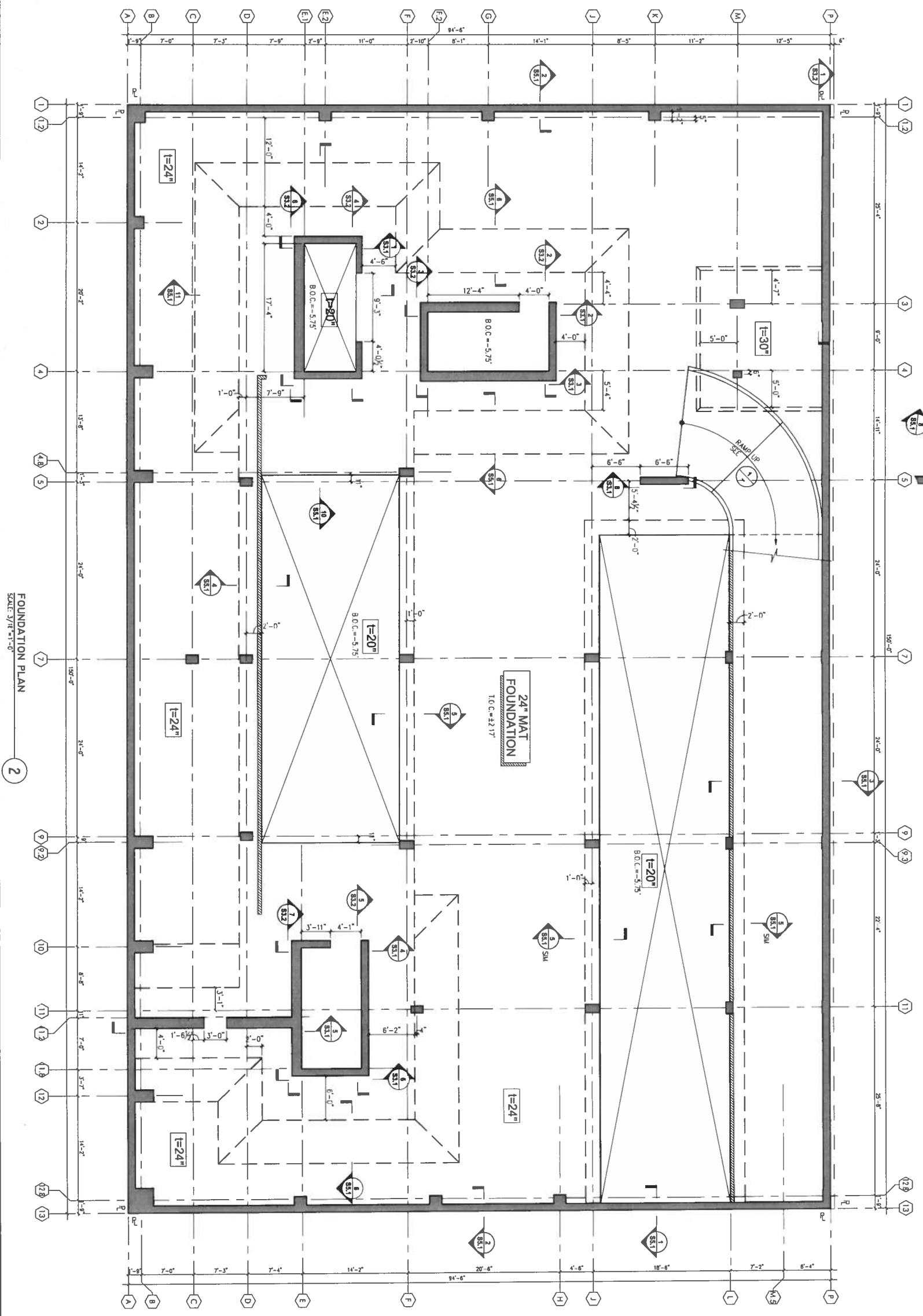
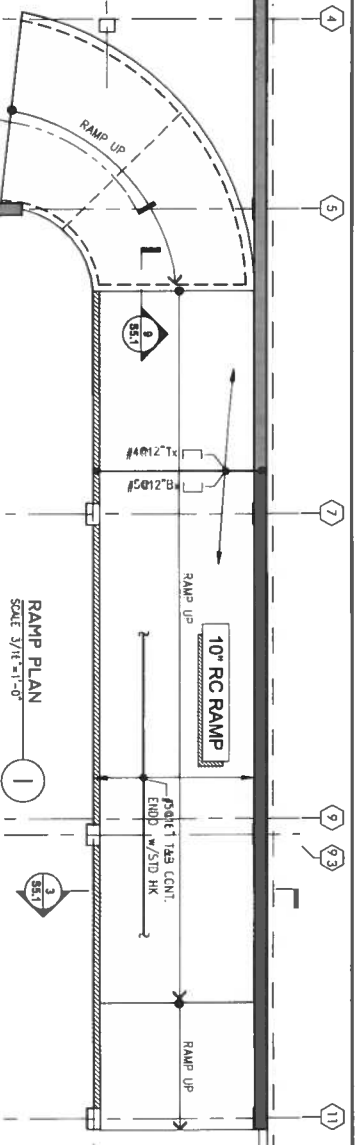
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The architecture office of Werner H. Schmidt, AIA

1014 Howard Street
San Francisco, CA 94103
T 415.435.4444
F 415.252.9020

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Structural Engineers Inc.
2500 Mission St., Suite 2100
San Francisco, CA 94110
Voice 415.405.9200 Fax 415.405.9206
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- LEGEND:
- CMU OR SHOTCRETE. SEE DETAILS ON SS 2
 - CONC.



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"
2

| | | |
|-----------------------------|------------|----------|
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| SCALE | CHECKED BY | |
| 3/16" = 1'-0" | | |
| SHEET TITLE | | |
| FOUNDATION GEOMETRY PLAN | | |
| SHEET NUMBER | | |
| S2.0a | | |

490

SOUTH VAN NESS

SAN FRANCISCO, CA

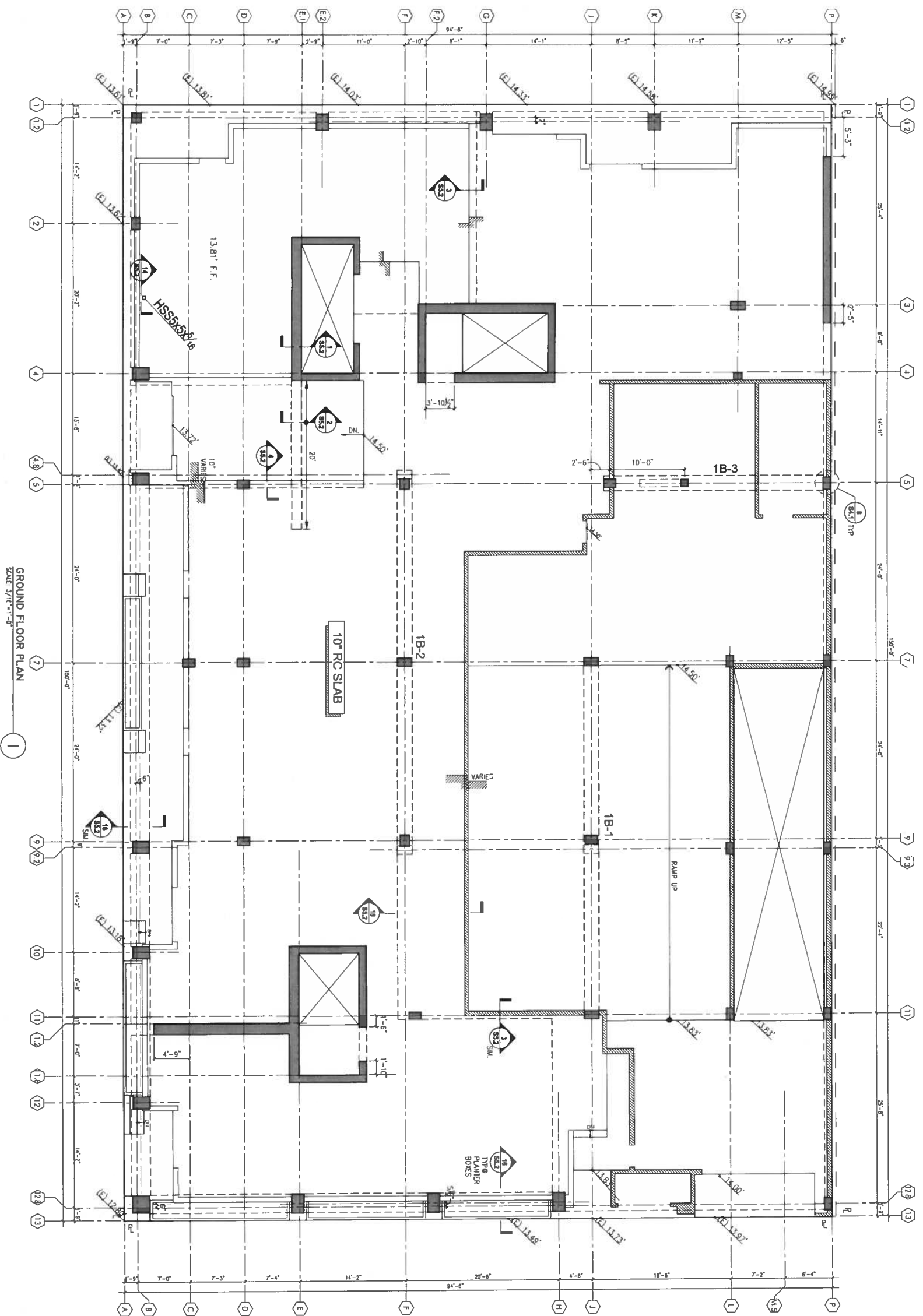
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 2. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DIMS.
- LEGEND:**
- CONC. CONCRETE OR SHOTCRETE. SEE DETAILS ON S5.2
 - 1B-1 CONCRETE BEAM MARK. SEE ELEVATIONS ON S4.2



GROUND FLOOR PLAN
SCALE 3/16"=1'-0"

| | |
|--|------------|
| JOB NUMBER | DRAWN BY |
| DATE | CHECKED BY |
| SCALE 3/16"=1'-0" | |
| SHEET TITLE GROUND FLOOR GEOMETRY PLAN | |
| SHEET NUMBER | |

S2.1a

490

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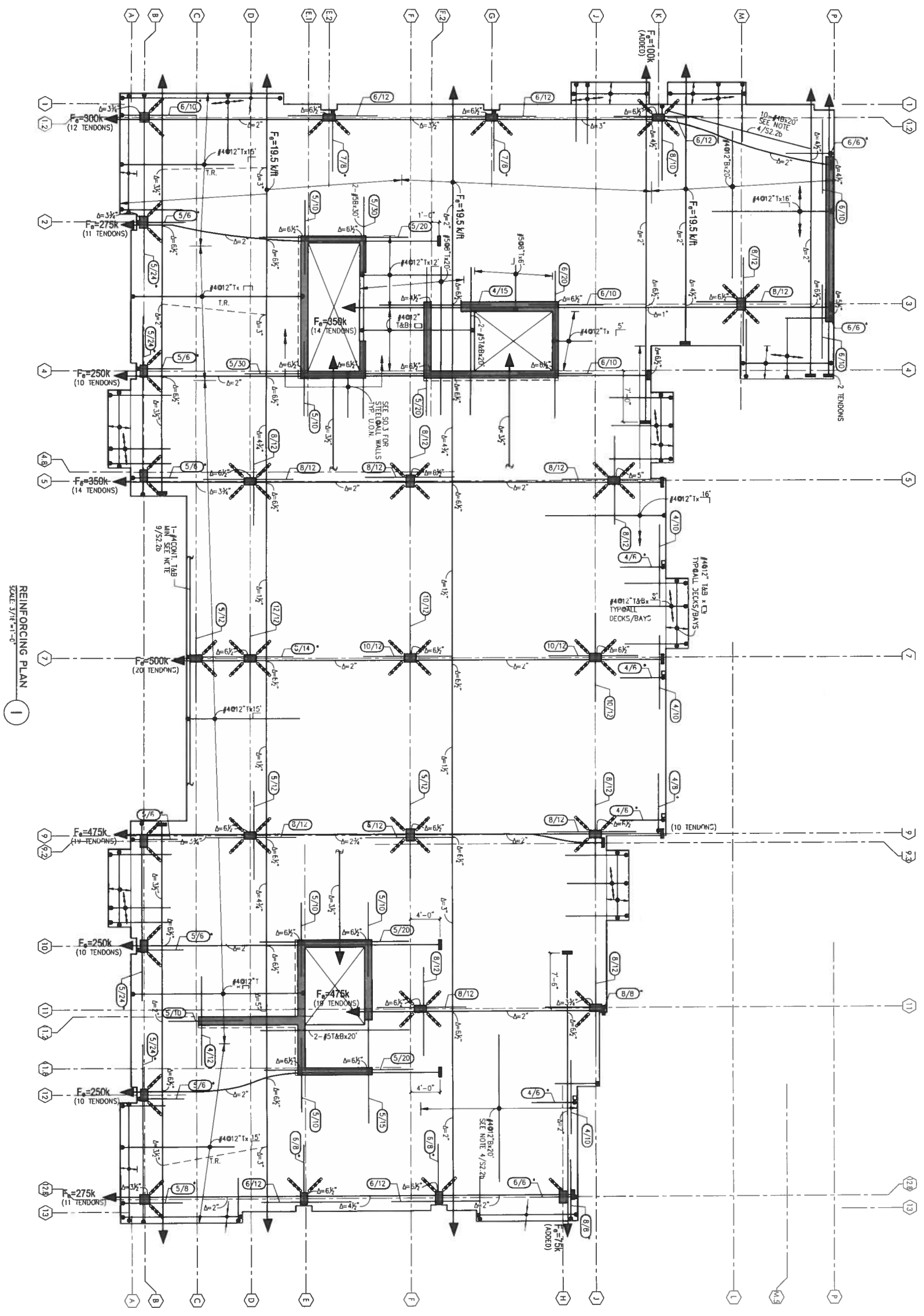
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1014 Howard Street
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Voice: 415.441.4100
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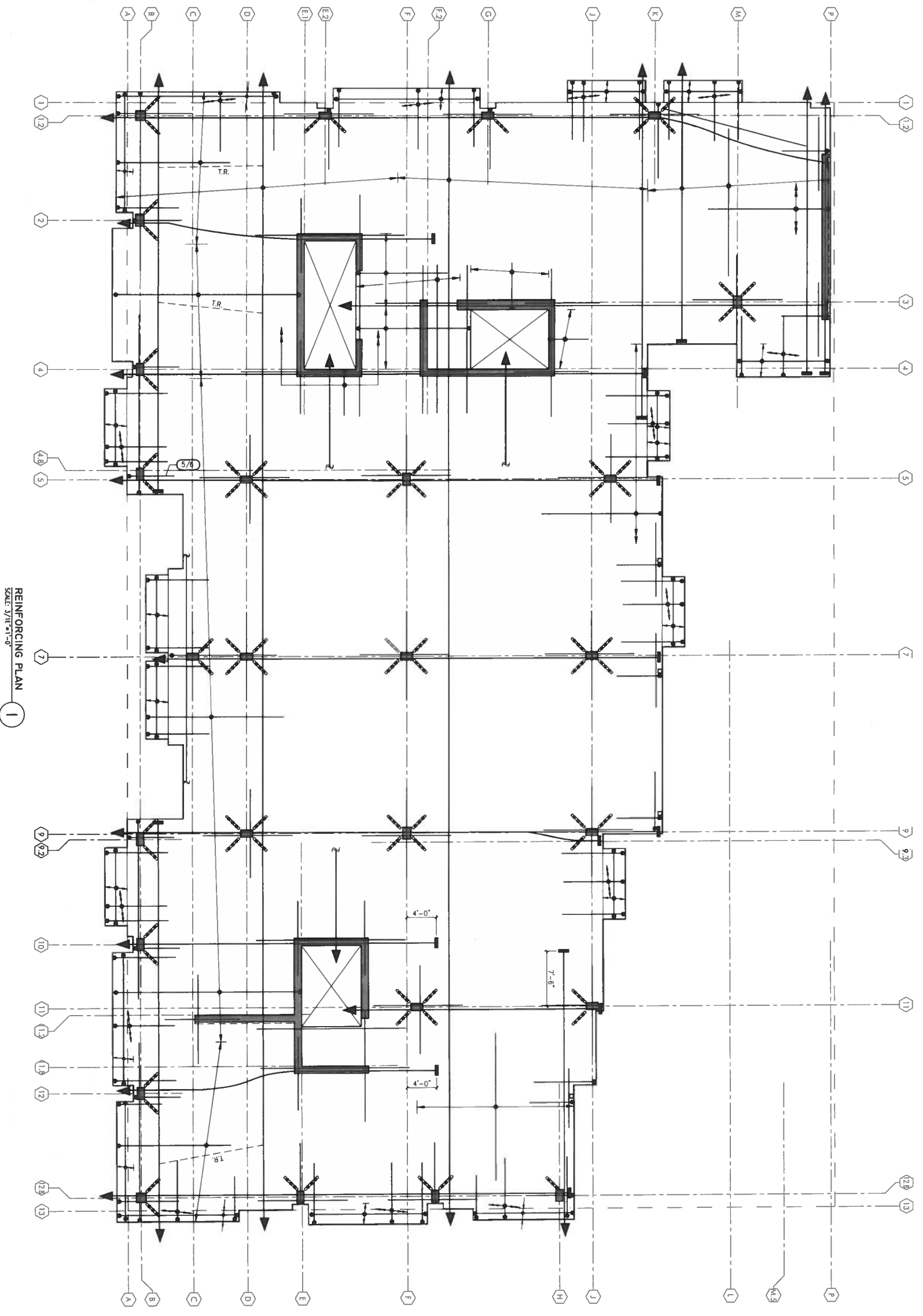
NOTES
1. SEE NOTES AND LEGEND ON S2.2b.



REINFORCING PLAN 1
SCALE: 3/16"=1'-0"

| | | | |
|--------------|------------------------------|-------------|----------|
| JOB NUMBER | DATE | DESIGNED BY | DRAWN BY |
| SCALE | 3/16" = 1'-0" | CHECKED BY | |
| SHEET TITLE | THIRD FLOOR REINFORCING PLAN | | |
| SHEET NUMBER | S2.3b | | |

- NOTES**
1. SEE NOTES AND LEGEND ON S2.2b.
 2. FOR REINFORCING NOT NOTED, SEE S2.3b.



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VAN NESS
 SAN FRANCISCO, CA

FORUMDESIGN
 The architecture office of Werner H. Schmidt, AIA

1014 Howard Street
 San Francisco, CA 94103
 F 415. 252.9920
 F 415. 252.9920

DOLMEN
 Structural Engineers Inc.
 2505 Mission St., Suite 200
 San Francisco, CA 94110
 Voice 415.405.8200 Fax 415.405.9206
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| DATE | CHECKED BY |
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| BHEET TITLE | |
| SHEET NUMBER | |

S2.4b

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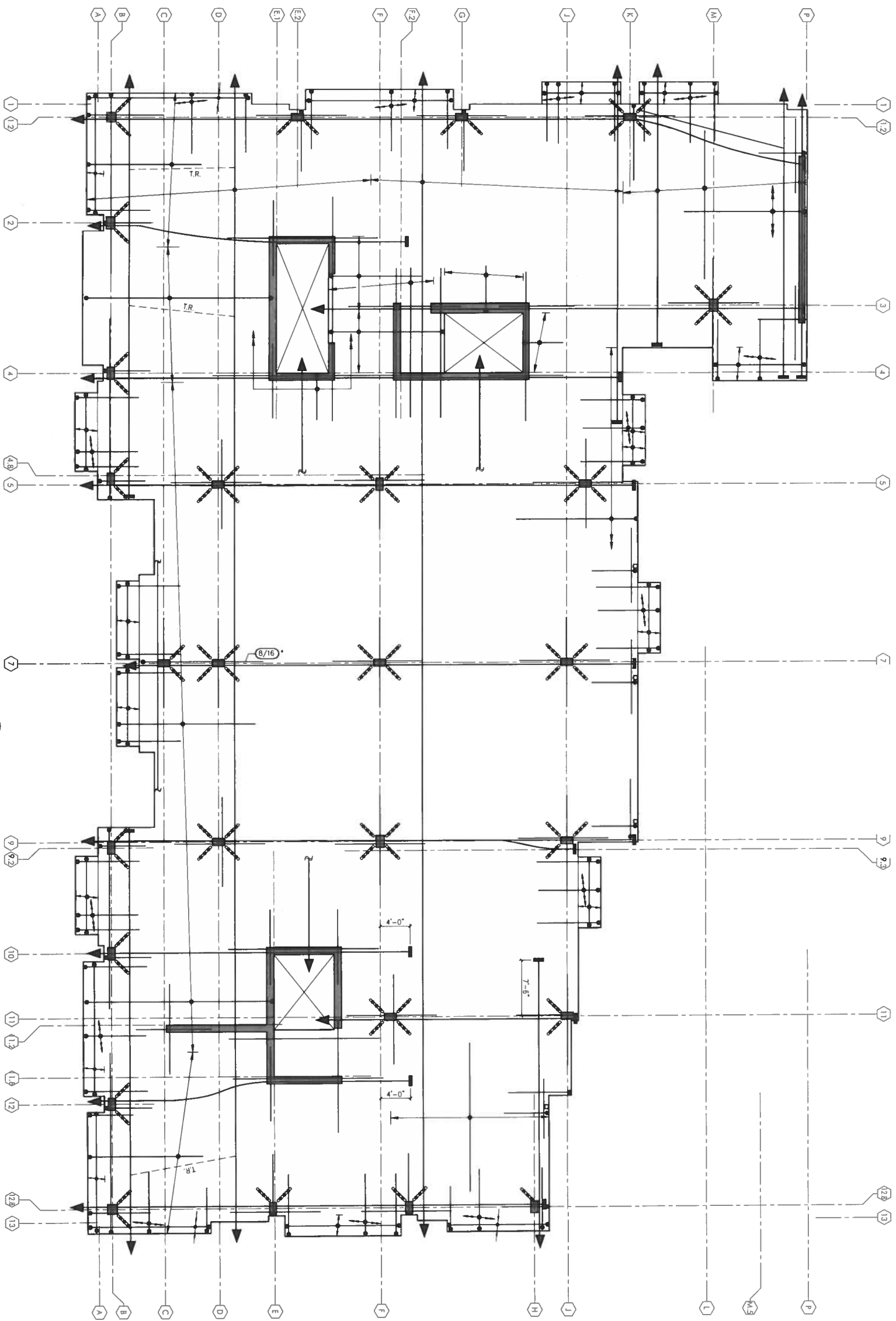
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 the architecture office of Werner H. Schmidt, AIA

1014 Howard Street
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 T 415.252.7063
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REINFORCING PLAN 1
 SCALE: 3/16"=1'-0"

| | | |
|--------------|---------------------------------|-------------|
| JOB NUMBER | DATE | DESIGNED BY |
| SCALE | DATE | CHECKED BY |
| SHEET TITLE | 3/1/09, 1'-0" | |
| SHEET NUMBER | FIFTH FLOOR REINFORCING PLAN | |

S2.5b

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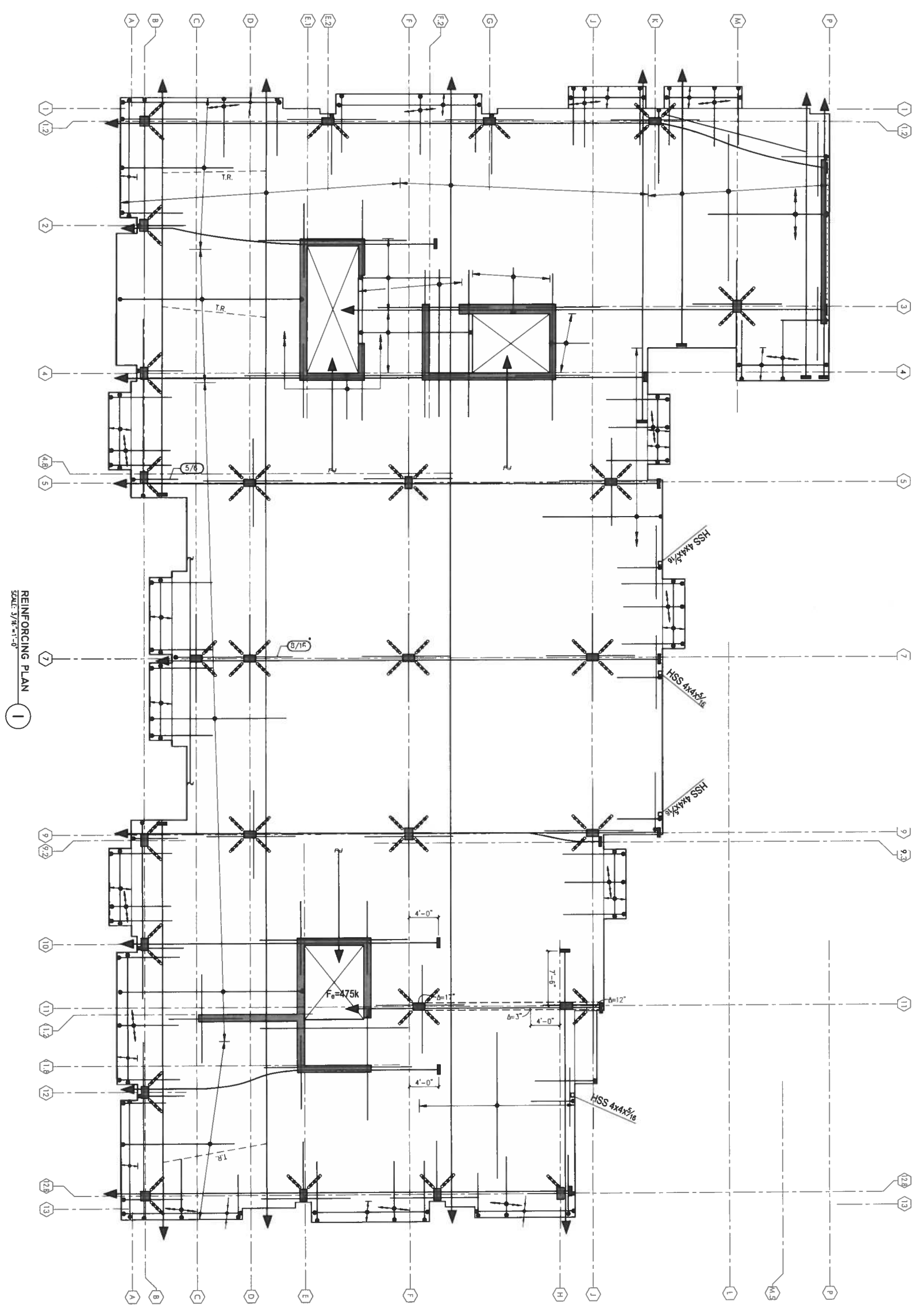
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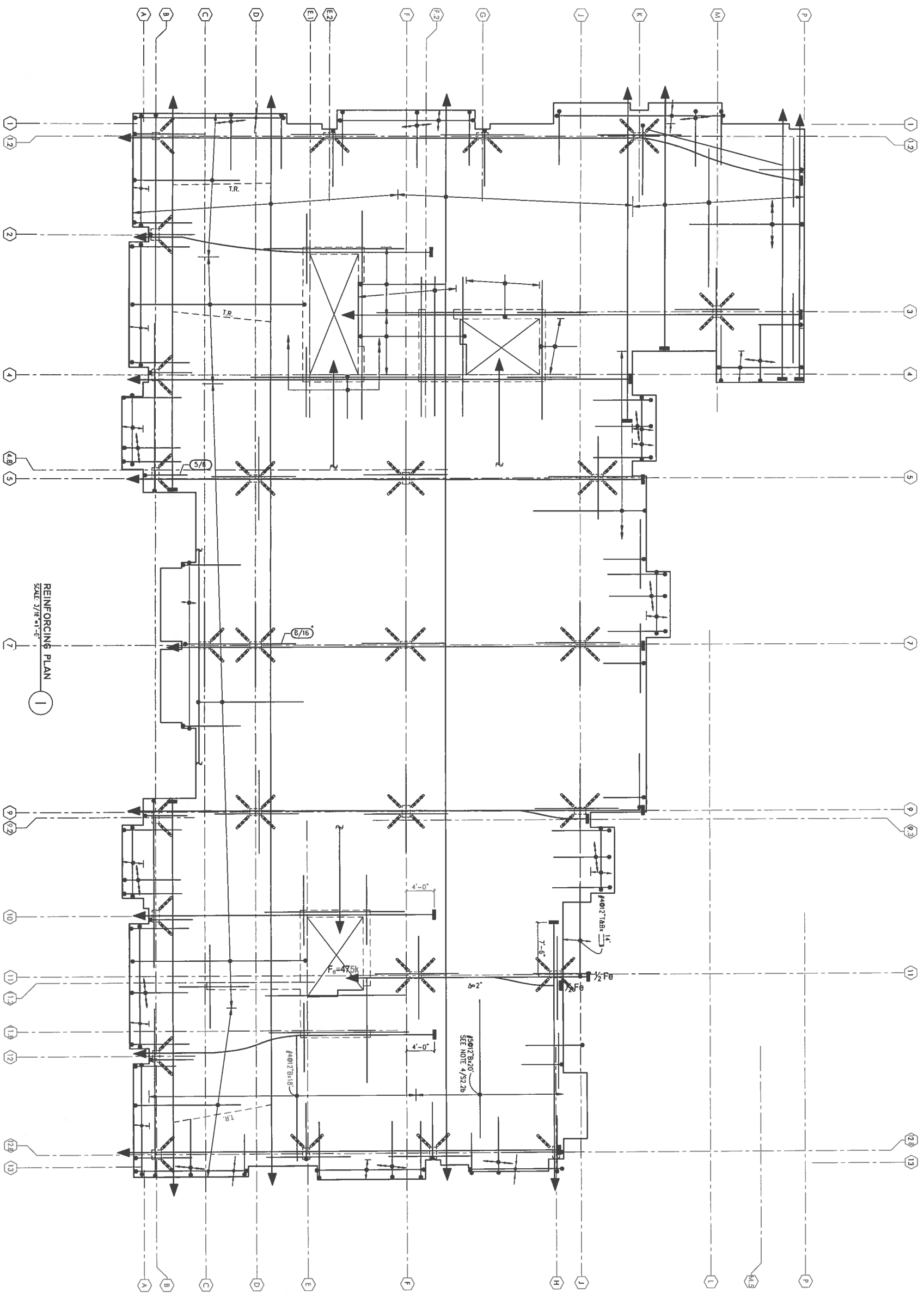
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 2. FOR REINFORCING NOT NOTED, SEE S2.3b



REINFORCING PLAN 1
SCALE: 3/8"=1'-0"

| | | | |
|--------------|---------------------------------|------------|--|
| JOB NUMBER | | DRAWN BY | |
| DATE | | CHECKED BY | |
| SCALE | 3/8" = 1'-0" | | |
| SHEET TITLE | SIXTH FLOOR REINFORCING PLAN | | |
| SHEET NUMBER | S2.6b | | |



- NOTES**
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 2. FOR REINFORCING NOT NOTED, SEE S2.3b.

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 Structural Engineers Inc.
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| | |
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| SHEET NUMBER | S2.7b |

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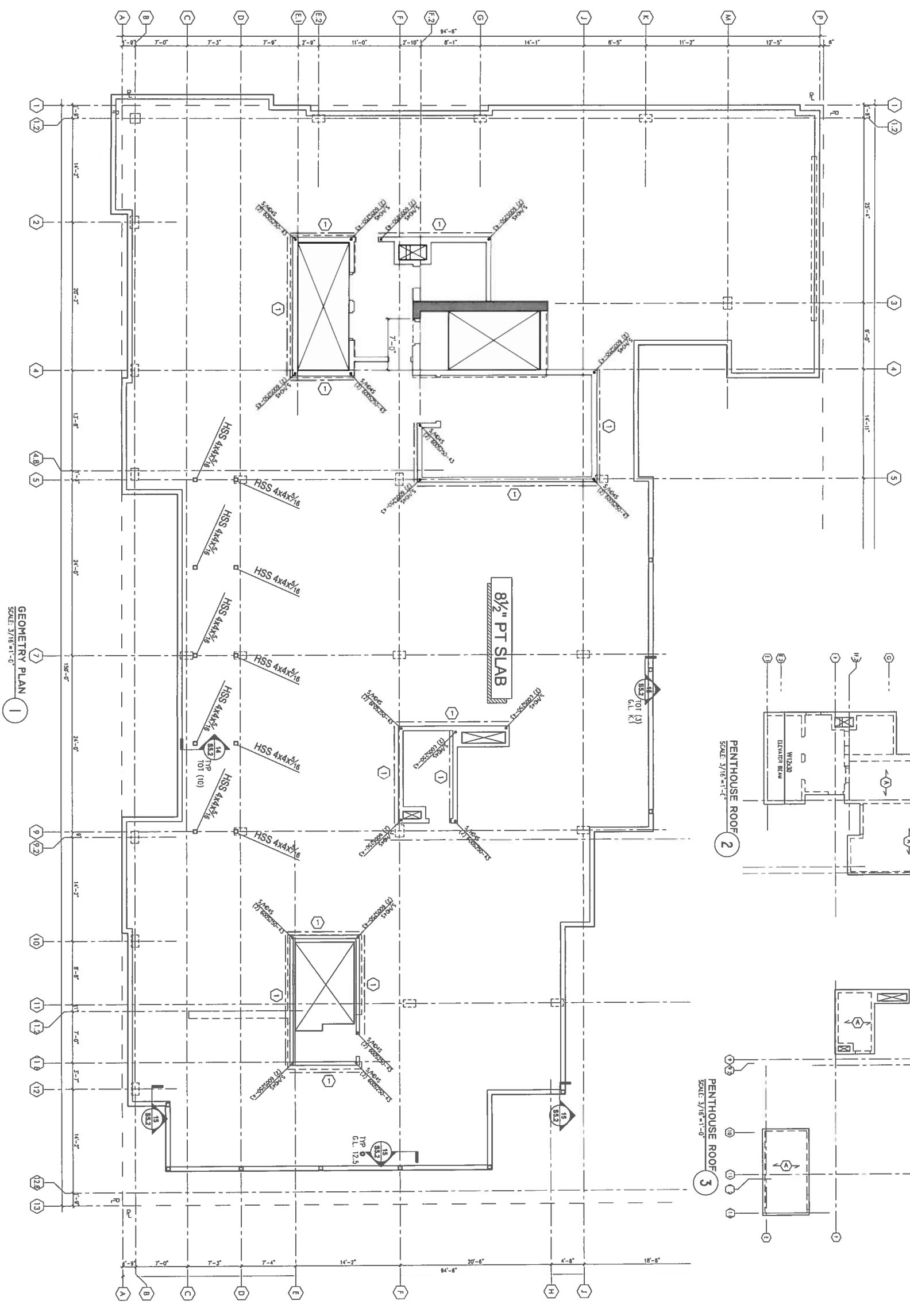
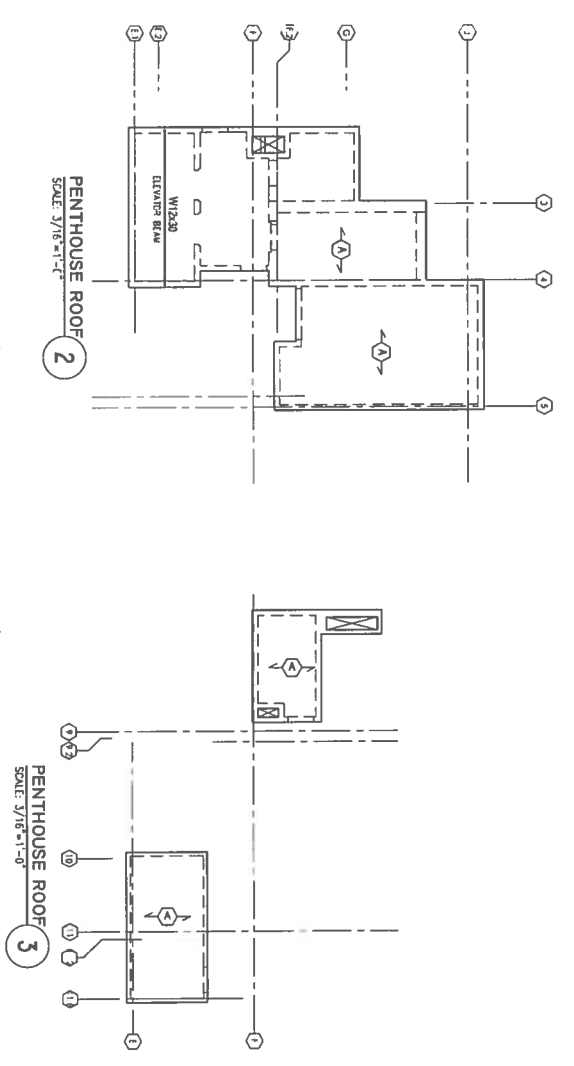
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1014 Howard Street
San Francisco, CA 94103
T 415 252 7063
F 415 252 9020

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| | | | |
|--------------|------|-------------|--------------------|
| JOB NUMBER | DATE | SCALE | SHEET TITLE |
| DATE | DATE | 3/16"=1'-0" | ROOF GEOMETRY PLAN |
| DESIGNED BY | DATE | | |
| CHECKED BY | DATE | | |
| DRAWN BY | DATE | | |
| SHEET NUMBER | | | |

S2.8a

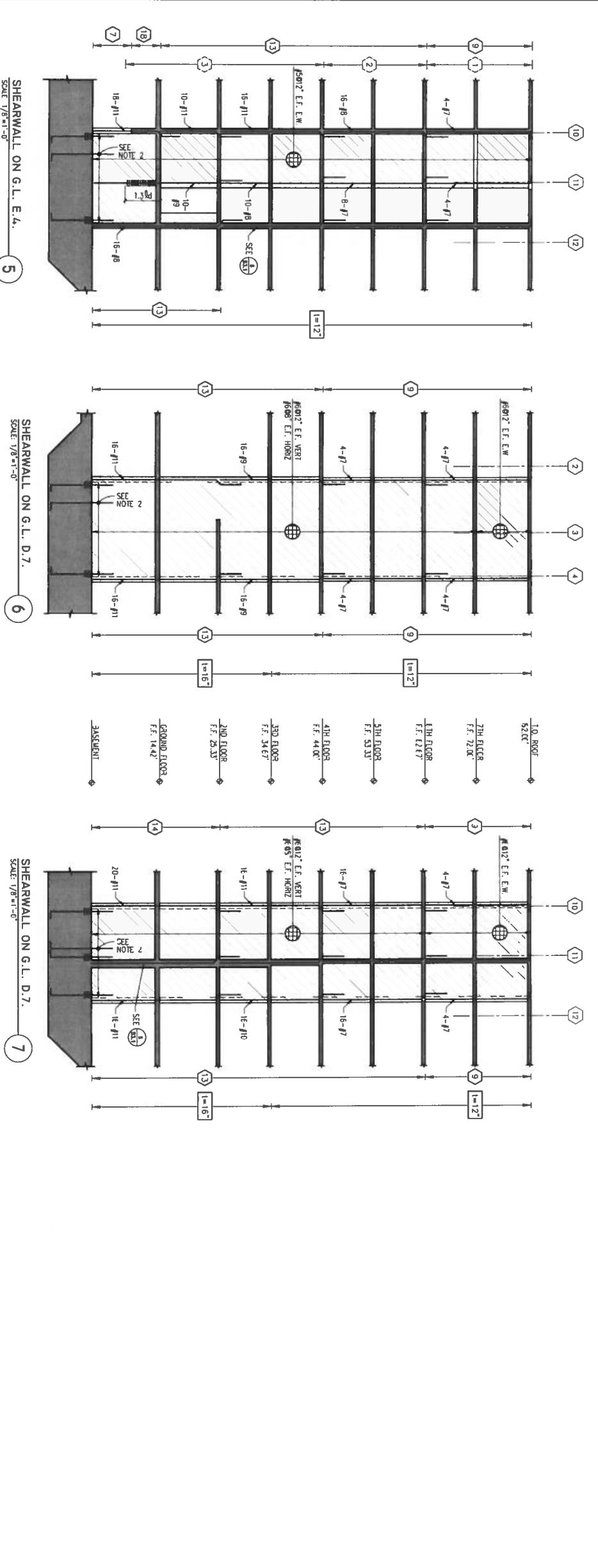
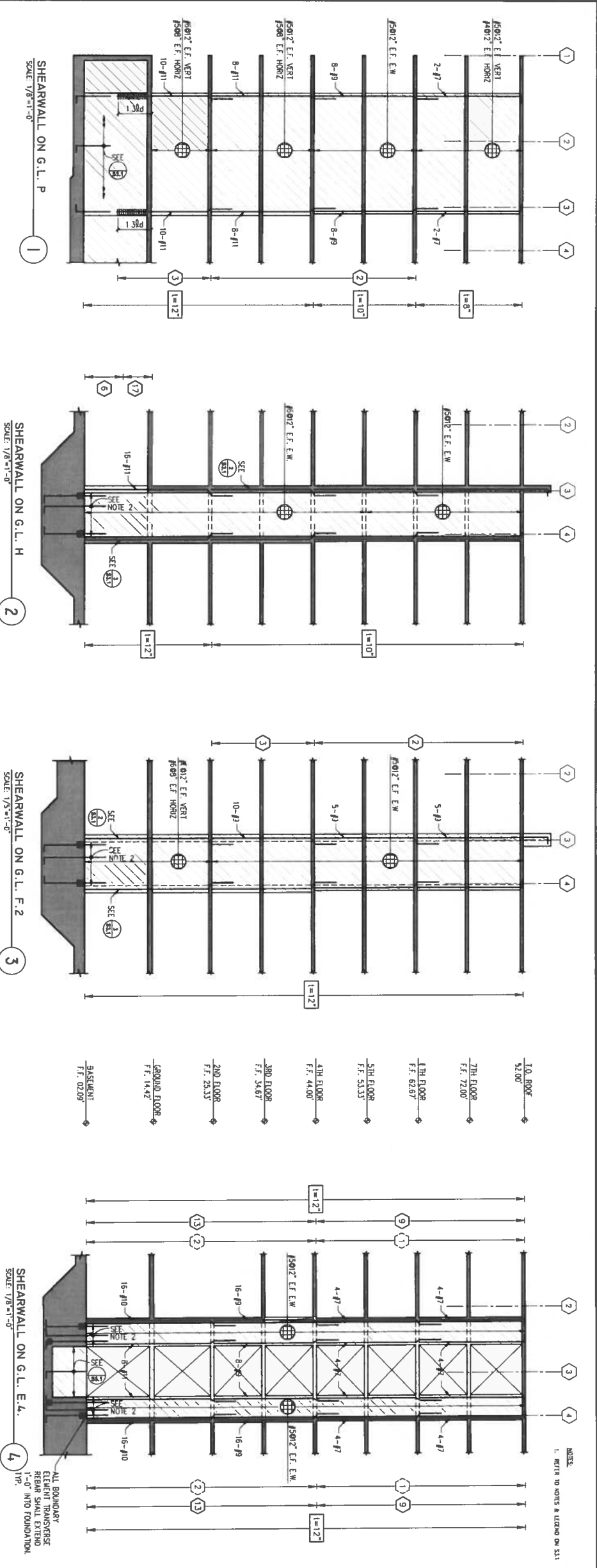
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The architectural office of Werner H. Schmidt, AIA

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T 415.252.7063
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2999 Mission St., Suite 200
San Francisco, CA 94110
Voice: 415.774.4444
www.dolmen-engineers.net

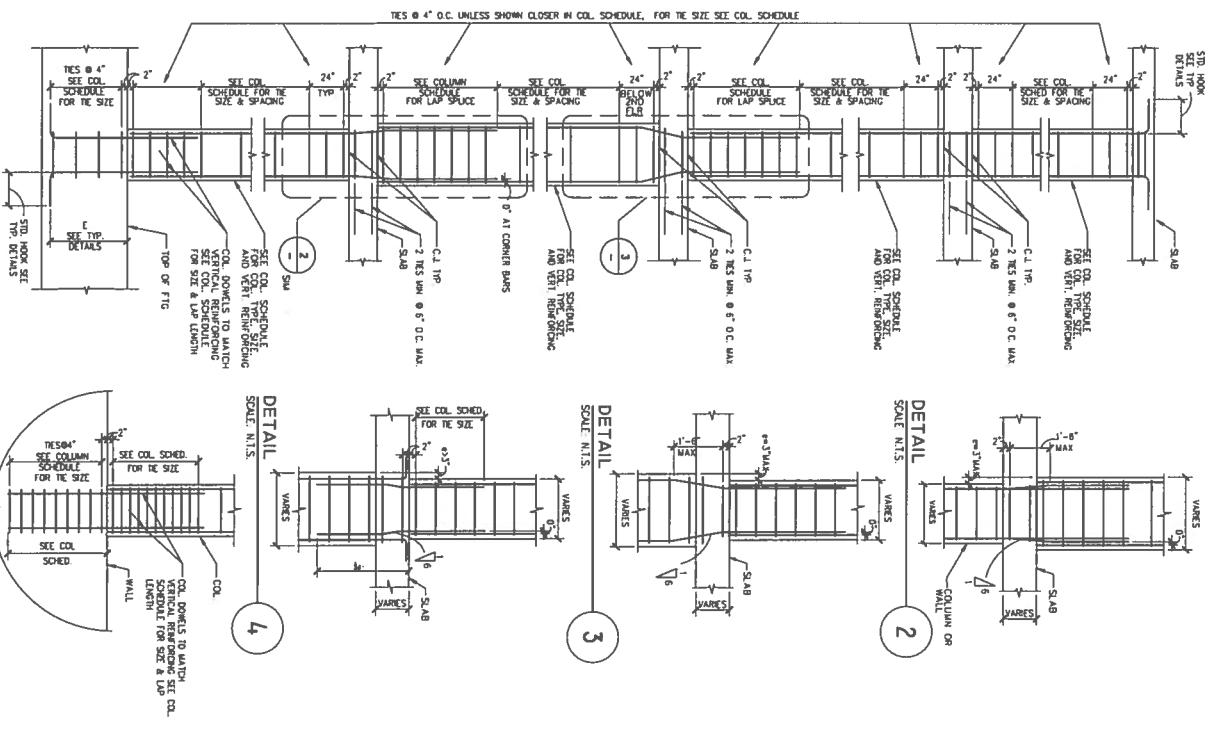
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| | |
|--------------|------------|
| DATE | CHECKED BY |
| SCALE | AS NOTED |
| SHEET TITLE | SHEARWALLS |
| SHEET NUMBER | |

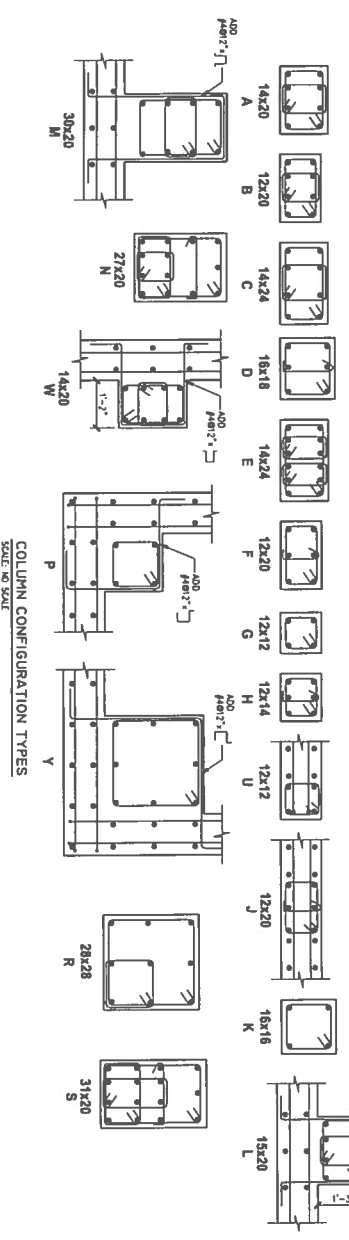
S3.2

| COLUMN SCHEDULE | | | | | | | | | | | | | | | | | | | |
|-----------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| MARK | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 |
| MARK | | | | | | | | | | | | | | | | | | | |
| QUANTITY | 4 | 3 | 2 | 2 | 2 | 1 | 1 | 1 | 3 | 1 | 1 | 1 | 5 | 1 | 1 | 3 | 1 | 3 | 3 |
| REMARKS | DOCKETS TO MAT | | | | | | | | | | | | | | | | | | |
| | TYPE A 6-#8 15'-0" | TYPE B 6-#8 15'-0" | TYPE C 6-#8 15'-0" | TYPE D 6-#8 15'-0" | TYPE E 6-#8 15'-0" | TYPE F 6-#8 15'-0" | TYPE G 6-#8 15'-0" | TYPE H 6-#8 15'-0" | TYPE I 6-#8 15'-0" | TYPE J 6-#8 15'-0" | TYPE K 6-#8 15'-0" | TYPE L 6-#8 15'-0" | TYPE M 6-#8 15'-0" | TYPE N 6-#8 15'-0" | TYPE O 6-#8 15'-0" | TYPE P 6-#8 15'-0" | TYPE Q 6-#8 15'-0" | TYPE R 6-#8 15'-0" | TYPE S 6-#8 15'-0" |
| | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor | 5th Floor |
| | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor | 4th Floor |
| | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor | 3rd Floor |
| | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor |
| | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor |
| | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement |
| | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor | 2nd Floor |
| | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor | 1st Floor |
| | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement | Basement |

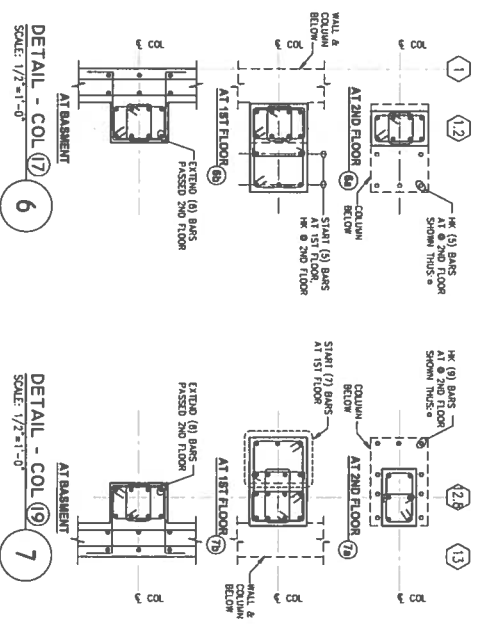


1 TYPICAL COLUMN SCALE: N.T.S.

5 COLUMN AT SHEARWALL SCALE: N.T.S.



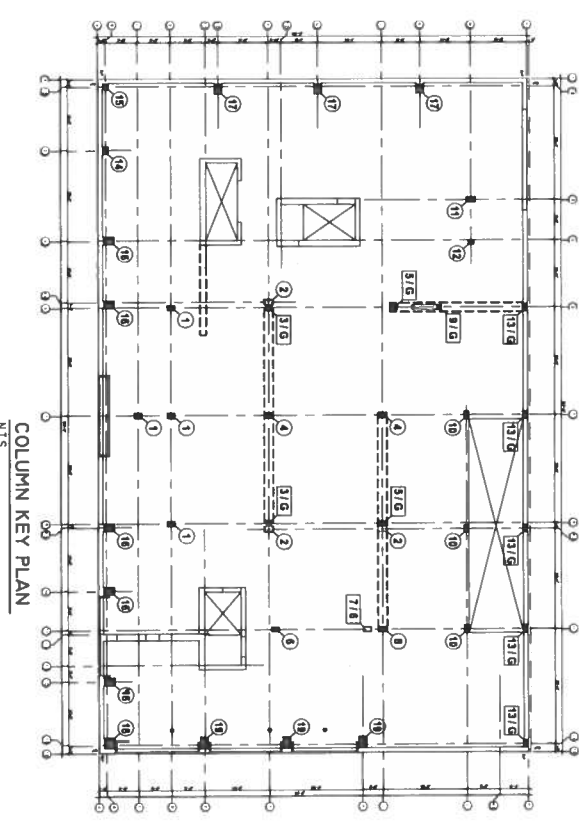
COLUMN CONFIGURATION TYPES SCALE: N.T.S.



6 DETAIL - COL AT BASEMENT SCALE: 1/2"=1'-0"

7 DETAIL - COL AT BASEMENT SCALE: 1/2"=1'-0"

8 DETAIL AT GRAND FLOOR INFILL SCALE: 3/4"=1'-0"



COLUMN KEY PLAN N.T.S.

LEGEND

- ⊕ = COLUMN MARK X STARTING AT WALL
- ⊕ = REINFORCING COLUMN MARK X STARTING AT LEVEL
- HC-1-#6x20 = HRC COMPUTER

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FORUMDESIGN
The architecture office of Warner H. Schmidt, AIA

1014 Howard Street
San Francisco, CA 94103
T 415. 252.7063
F 415. 252.9020

DOLMEN
Structural Engineers Inc.
2595 Mission St., Suite 200
San Francisco, CA 94110
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DATE: _____

SCALE: AS NOTED

SHEET TITLE: COLUMN SCHEDULE

SHEET NUMBER: S4.1

DESIGNED BY: _____

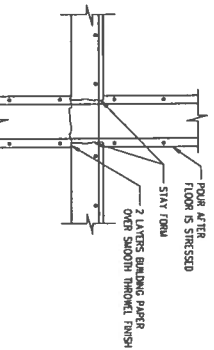
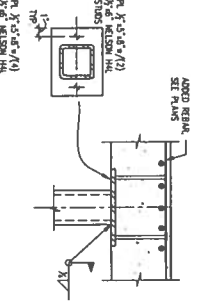
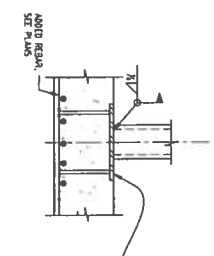
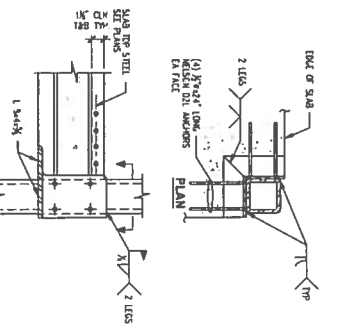
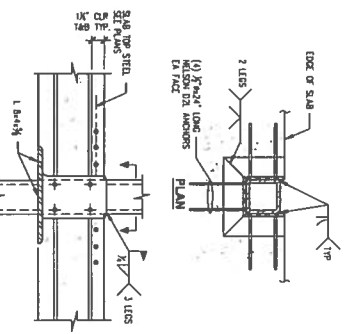
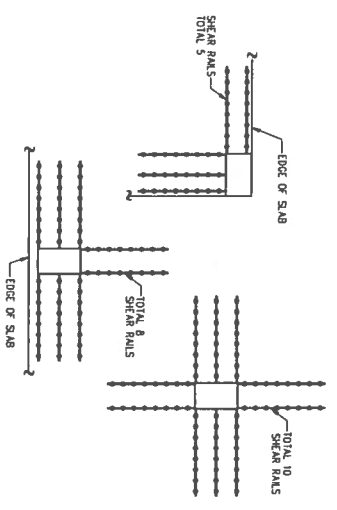
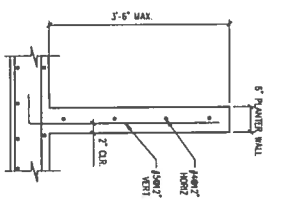
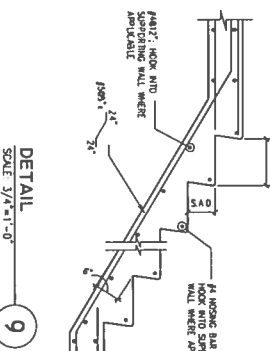
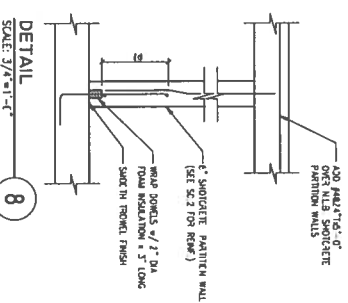
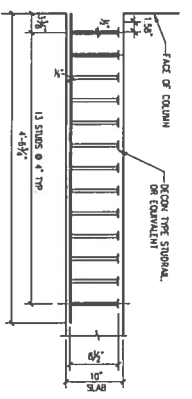
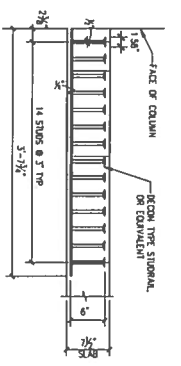
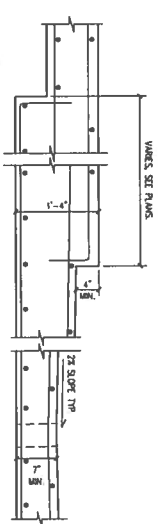
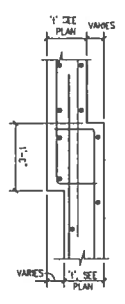
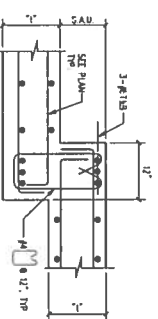
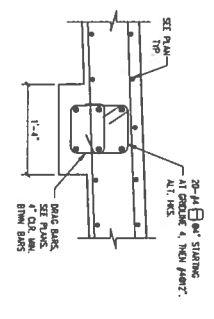
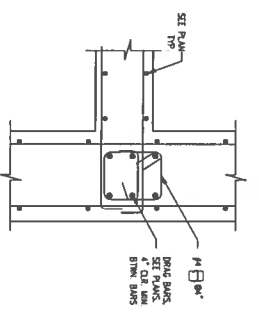
CHECKED BY: _____

DATE: _____

SCALE: AS NOTED

SHEET TITLE: COLUMN SCHEDULE

SHEET NUMBER: S4.1



SHEAR RAIL LAYOUTS
SCALE: N.T.S.

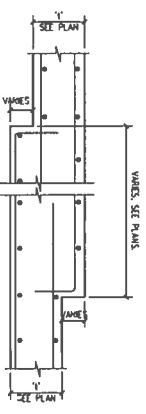
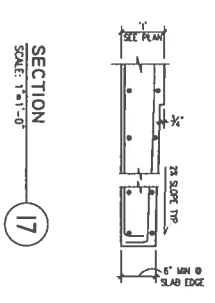
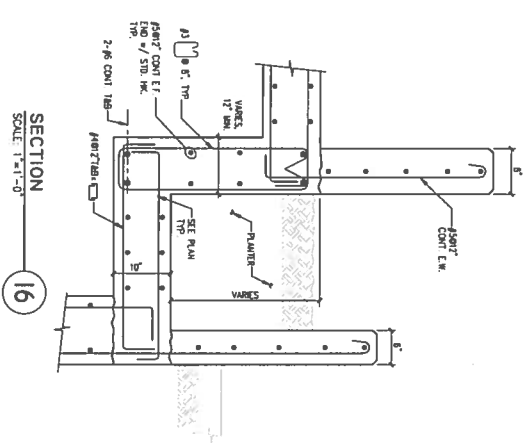
SECTION
SCALE: 1/4"=1'-0"

SECTION
SCALE: 1/4"=1'-0"

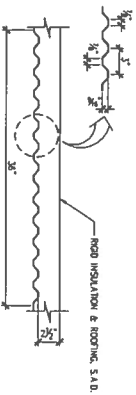
SECTION
SCALE: 1/4"=1'-0"

SECTION
SCALE: 1/4"=1'-0"

DETAIL
SCALE: 3/4"=1'-0"



| | |
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| JOB NUMBER | DRAWN BY |
| DATE | CHECKED BY |
| SCALE | AS NOTED |
| SHEET TITLE | CONCRETE DETAILS |
| SHEET NUMBER | |

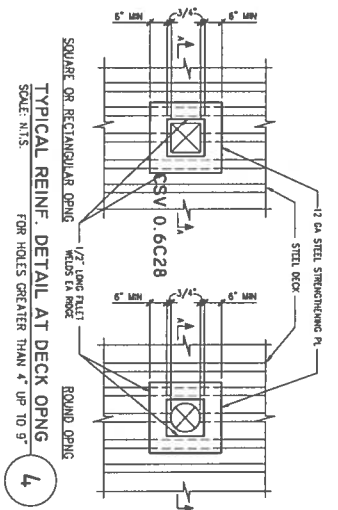


DECK TYPE 'A' - SHALLOW VERCOR
SCALE: 1-1/2"=1'-0"

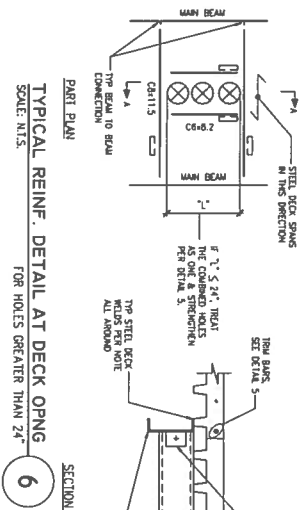
| DECK TYPE | LOCATION (h) | DECK (h) | INSUL (h) | ROOF (h) |
|-----------|--------------|----------|-----------|----------|
| A | ROOF | 3/8" | 1/2" | 3/16" |

DECK PROPERTIES
SCALE: 1-1/2"=1'-0"

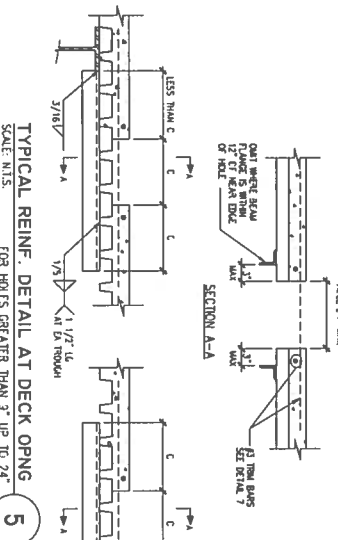
- STEEL DECK NOTES**
- A. USE STEEL DECK AS MANUFACTURED BY VERCOR. SHEAR VALUES, FLEXIBILITY FACTOR, ETC. LOADS INCLUDE ALL DEAD LOADS SHOWN ON CONSTRUCTION DOCUMENTS AND TYPICAL RESIDENTIAL LOADS. DECK TO HAVE MINIMUM PROPERTIES AND BE SPANNING AS SHOWN ON THIS DRAWING.
 - B. DECK SHALL BE CONTINUOUS OVER THREE BAYS WHEREVER FRAMING ALLOWS.
 - C. DIRECTION OF DECK INDICATED THIS WAY ON DRAWINGS.
 - D. WELDING OF STEEL DECK TO ALL SUPPORTS PERPENDICULAR TO DECK. 3/16" PLUG WELD EA. THROUGH TO ALL SUPPORTS PARALLEL TO DECK. 3/4" PLUG WELD @ 17" O.C. SIDE SEAM WELDS. 1-1/2" WELDS @ 17" O.C. TYPE B DECK.
 - E. FOR HOLES 4" DIA. OR LESS, OR 4" SQUARE OF LESS, NO STRENGTHENING IS REQUIRED, PROVIDED THEY ARE SUFFICIENTLY SEPARATED. 2" DIA. HOLES TO BE REINFORCED WITH 2" DIA. BARS.
 - F. OPENINGS THROUGH STEEL DECK ROOFS ON FRAMING PLANS MAY NOT BE COMPLETE AS NUMBER, SIZE AND LOCATION. FOR COMPLETE INFORMATION REFER TO DRAWINGS OTHER THAN STRUCTURAL.
 - G. MINIMUM BEARING OF 2" TO BE PROVIDED AT ALL SUPPORTS.
 - H. DECKS SHALL BE SPICED WHERE REQUIRED PER MANUFACTURERS RECOMMENDATIONS.



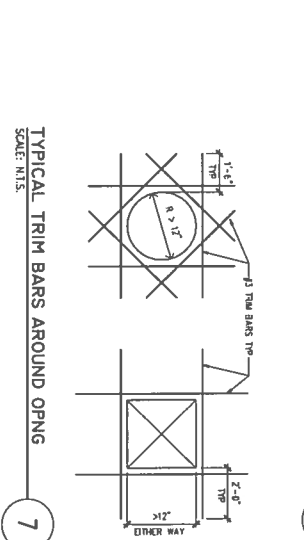
TYPICAL REINFORCING DETAIL AT DECK OPNG
SCALE: N.T.S.



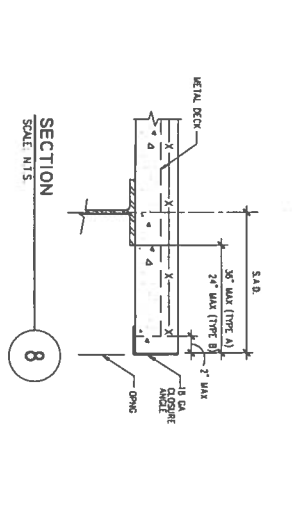
TYPICAL REINFORCING DETAIL AT DECK OPNG
SCALE: N.T.S.



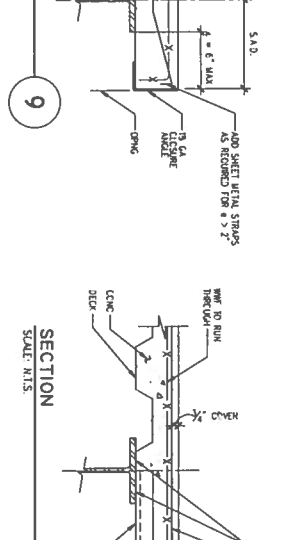
TYPICAL REINFORCING DETAIL AT DECK OPNG
SCALE: N.T.S.



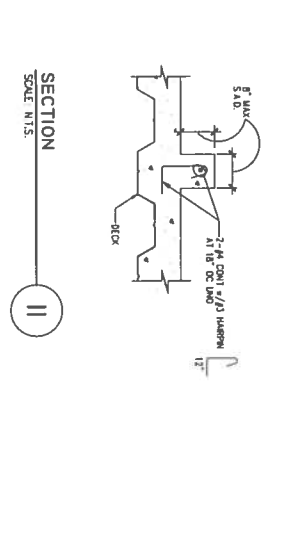
TYPICAL TRIM BARS AROUND OPNG
SCALE: N.T.S.



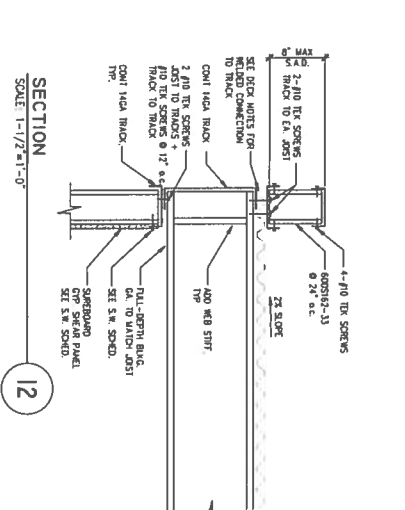
SECTION 8
SCALE: 1-1/2"=1'-0"



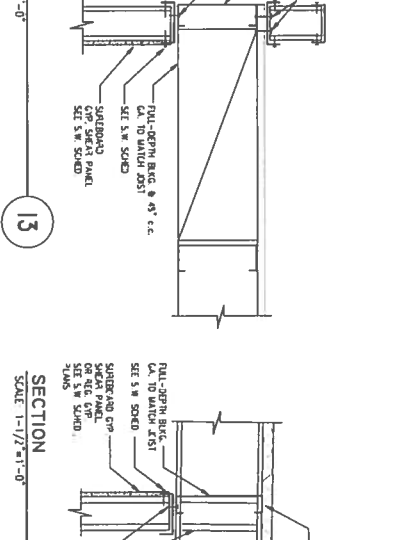
SECTION 9
SCALE: 1-1/2"=1'-0"



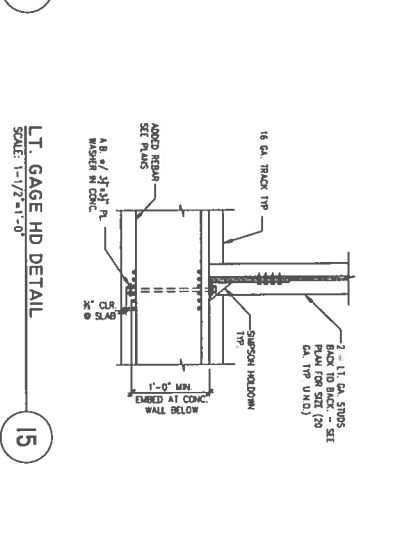
SECTION 10
SCALE: 1-1/2"=1'-0"



SECTION 11
SCALE: 1-1/2"=1'-0"



SECTION 12
SCALE: 1-1/2"=1'-0"

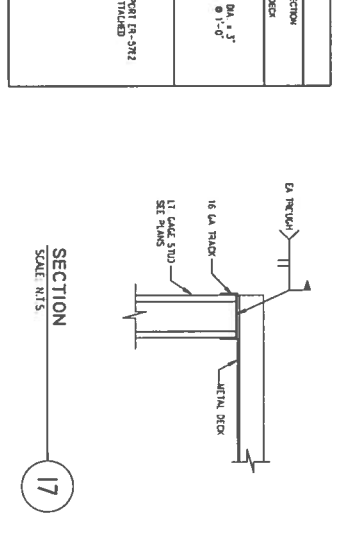


SECTION 13
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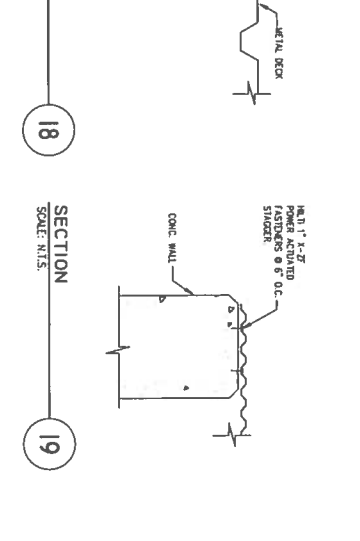
SUREBOARD SHEAR WALL SCHEDULE

| WALL ID | WALLBOARD TYPE AND THICKNESS | ANCHOR BOLTS | SPACING | ALTERNATE SHEAR CONNECTION | THICK CONNECTION |
|---------|------------------------------|--------------|---------|----------------------------|------------------|
| 1 | 5/8\"/> | | | | |

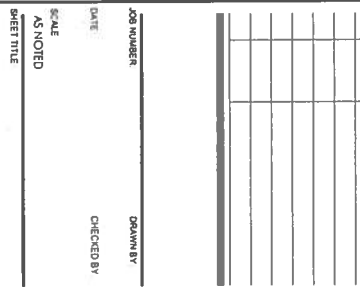
SUREBOARD SHEAR WALL SCHEDULE
SCALE: 1-1/2"=1'-0"



SECTION 14
SCALE: 1-1/2"=1'-0"



SECTION 15
SCALE: 1-1/2"=1'-0"



SECTION 16
SCALE: 1-1/2"=1'-0"



SECTION 17
SCALE: 1-1/2"=1'-0"

SECTION 18
SCALE: 1-1/2"=1'-0"

SECTION 19
SCALE: 1-1/2"=1'-0"

LI. GAGE SHEAR WALL SCHEDULE
SCALE: N.T.S.

LI. GAGE HD DETAIL
SCALE: 1-1/2"=1'-0"

SECTION 17
SCALE: N.T.S.

SECTION 18
SCALE: N.T.S.

SECTION 19
SCALE: N.T.S.

SECTION 20
SCALE: N.T.S.

SECTION 21
SCALE: N.T.S.

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The architectural office of Werner H. Schmidt, AIA

1014 Howard Street
San Francisco, CA 94103
T 415. 252.7063
F 415. 252.9020

DOLMEN
Structural Engineers Inc.
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S5.3
METAL DECK DETAILS

| | | | |
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| JOB NUMBER | DATE | SCALE | SHEET NUMBER |
| AS NOTED | CHECKED BY | DESIGNED BY | |
| METAL DECK DETAILS | | | |

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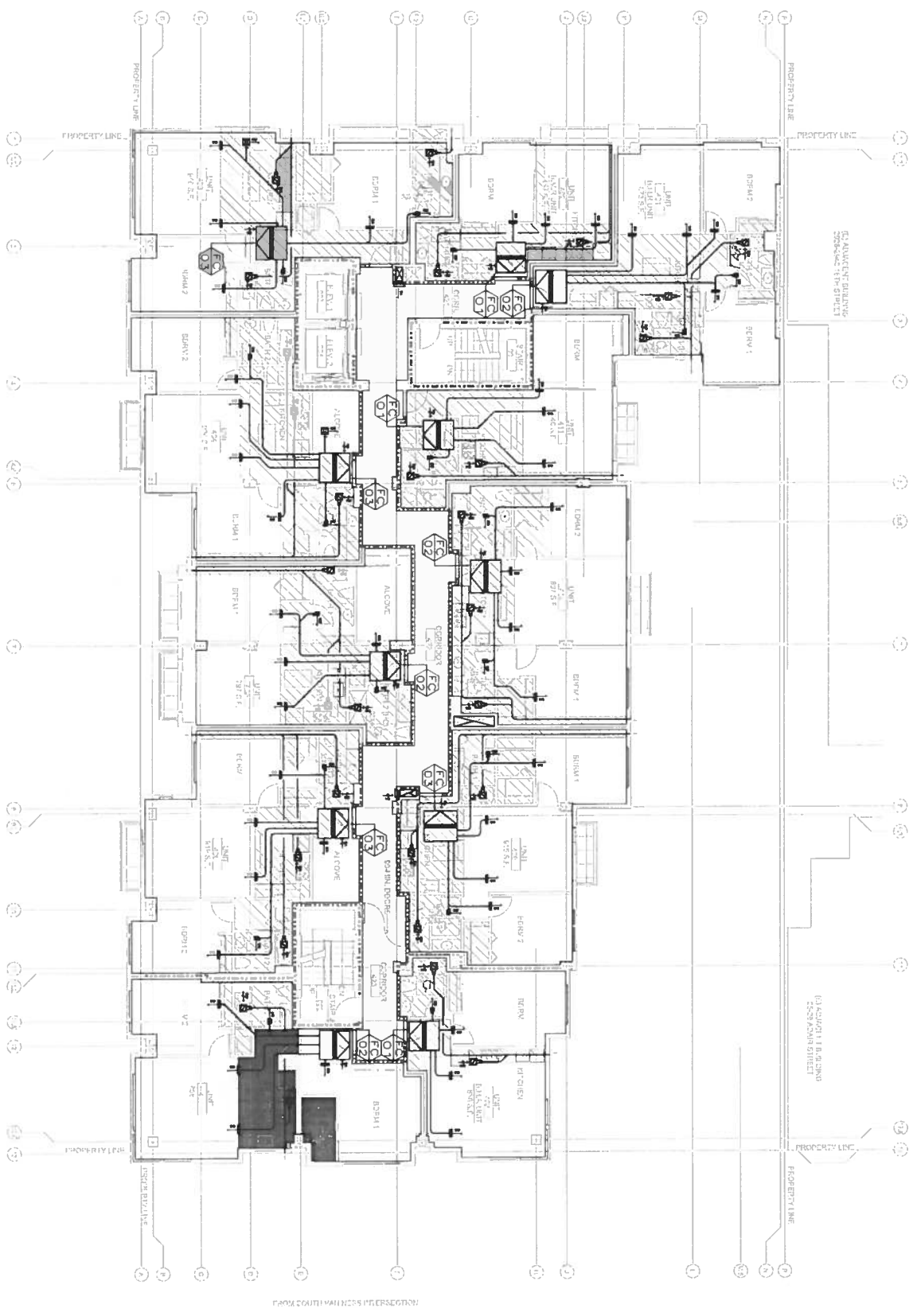
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| CHECKED BY: | SCALE: | |
| SHEET TITLE: | | |
| SHEET NUMBER: | | |

MECHANICAL PLAN -
FOURTH FLOOR
M2.04



MECHANICAL PLAN - FOURTH FLOOR
SCALE: 1/8" = 1'-0"

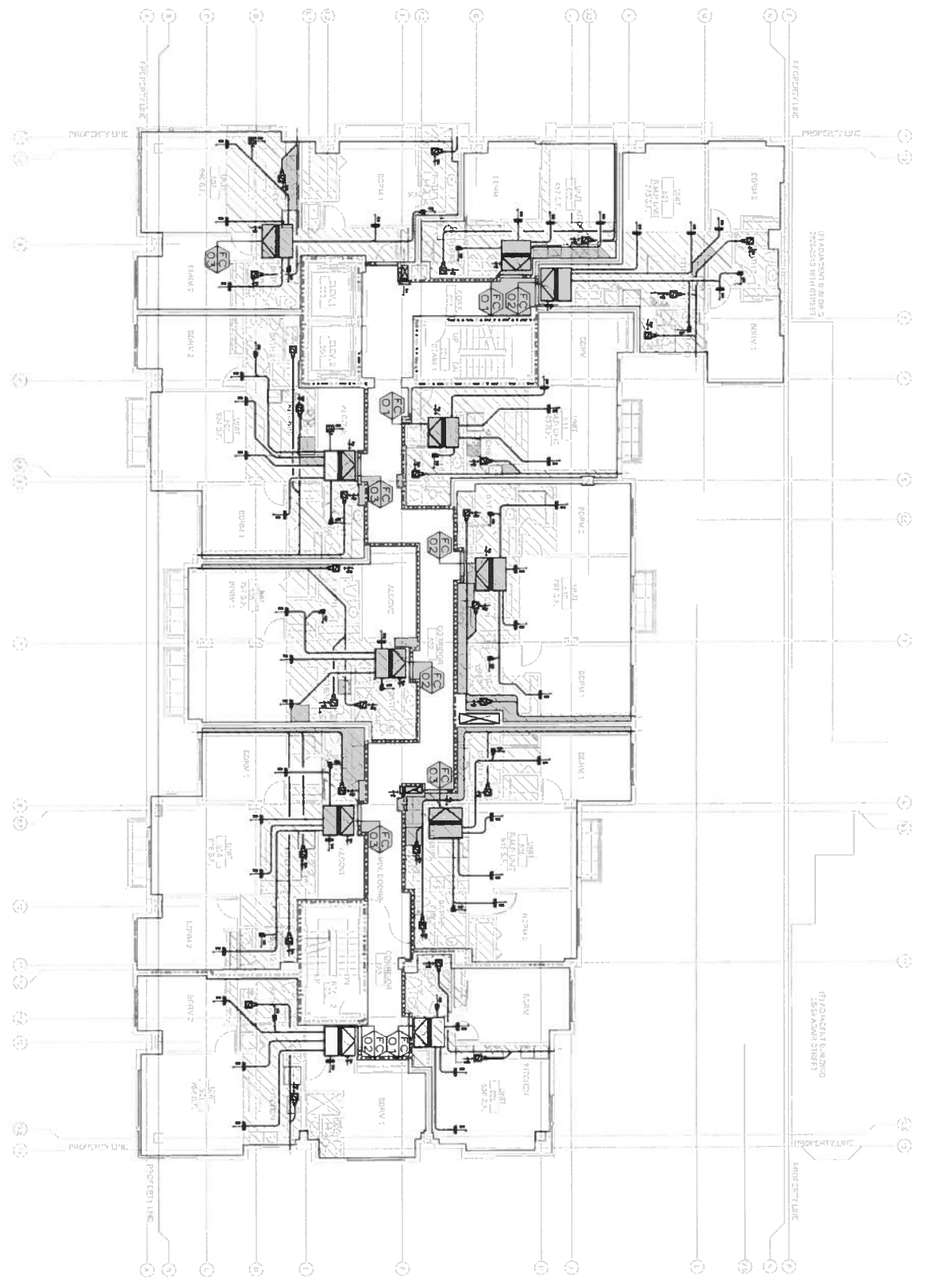
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M2.05 MECHANICAL PLAN - FIFTH FLOOR

| | |
|---------------|-------------------------------|
| JOB NUMBER: | |
| DATE: | |
| SCALE: | |
| SHEET TITLE: | MECHANICAL PLAN - FIFTH FLOOR |
| SHEET NUMBER: | M2.05 |

DRAWN BY:
CHECKED BY:
JOB NUMBER:
DATE:
SCALE:
SHEET TITLE:
MECHANICAL PLAN - FIFTH FLOOR
SHEET NUMBER:
M2.05

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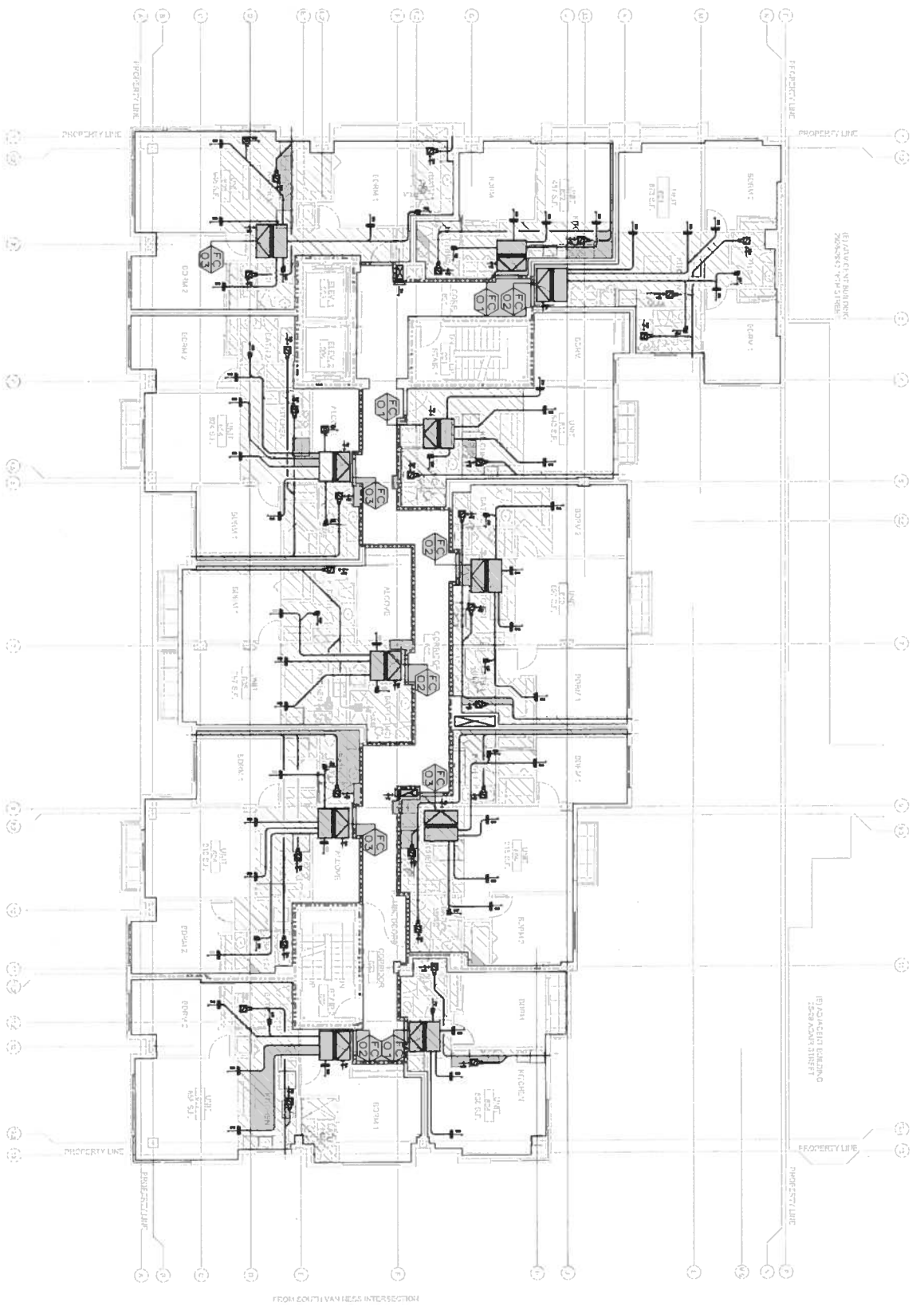
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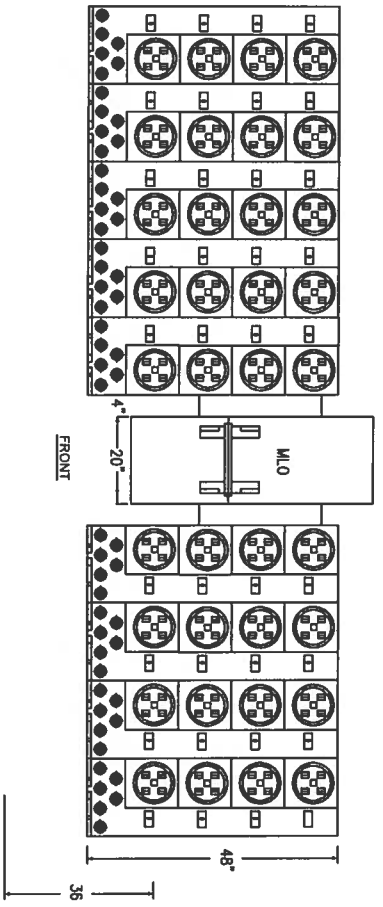
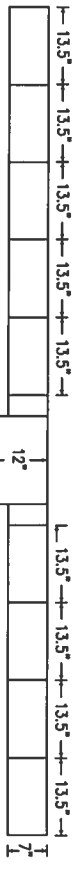
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| DATE: | CHECKED BY: |
| SCALE: | |
| SHEET TITLE: | |
| SHEET NUMBER: | |

SHEET TITLE:
MECHANICAL PLAN -
SIXTH FLOOR

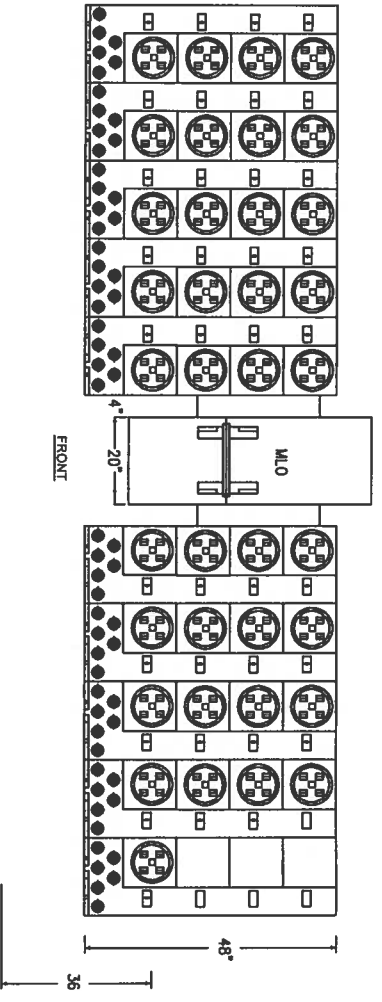
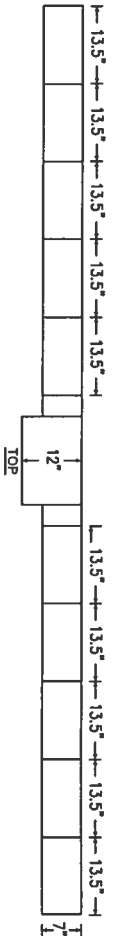
SHEET NUMBER:
M2.06

MECHANICAL PLAN - SIXTH FLOOR
SCALE: 1/8" = 1'-0"

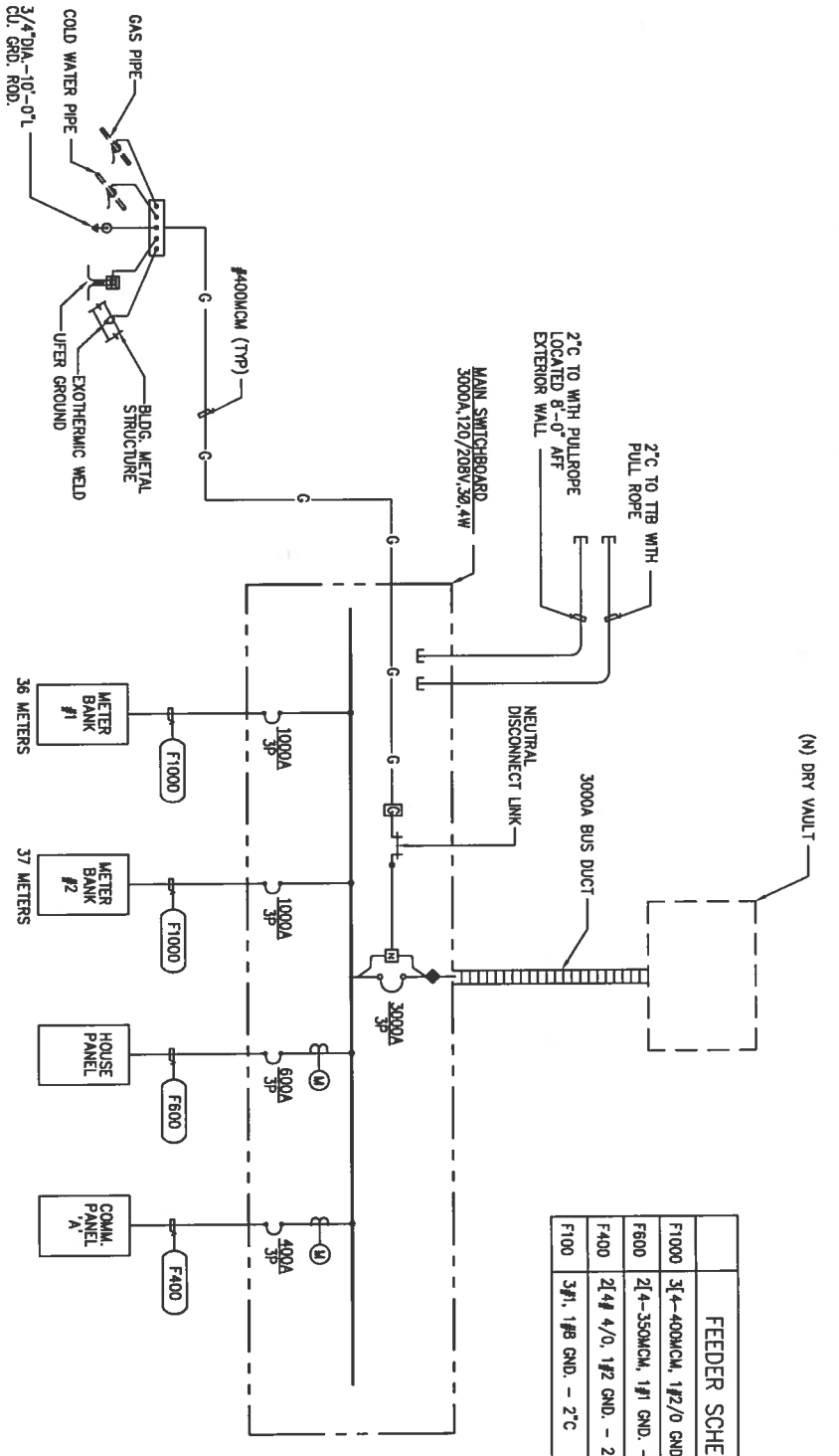




3 METER BANK #1 ELEVATION (36 RES. METERS)

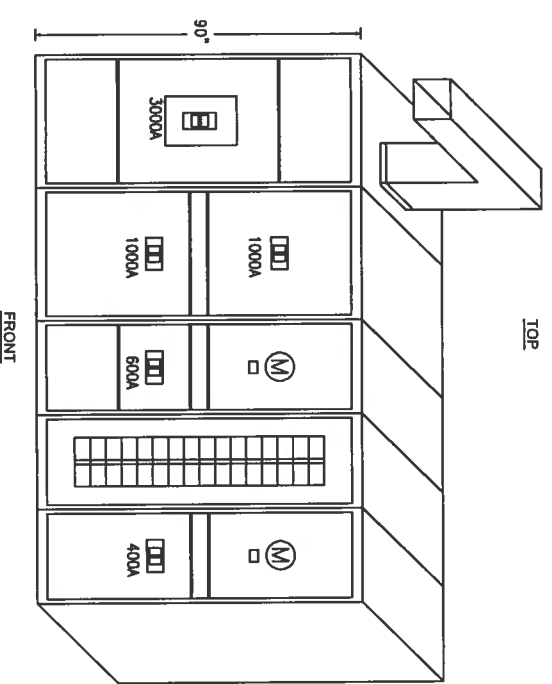
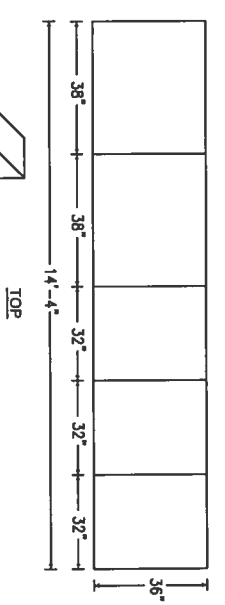


3 METER BANK #2 ELEVATION (37 RES. METERS)



| FEEDER SCHEDULE | |
|-----------------|------------------------------------|
| F1000 | 3(4-400MCM, 1#2/0 GND. - 3 1/2" C) |
| F800 | 2(4-350MCM, 1#1 GND. - 3 1/2" C) |
| F400 | 2(4# 4/0, 1#2 GND. - 2 1/2" C) |
| F100 | 3#1, 1#9 GND. - 2" C |

1 SINGLE LINE DIAGRAM



2 MAIN SWITCH BOARD ELEVATION

Revised/Date

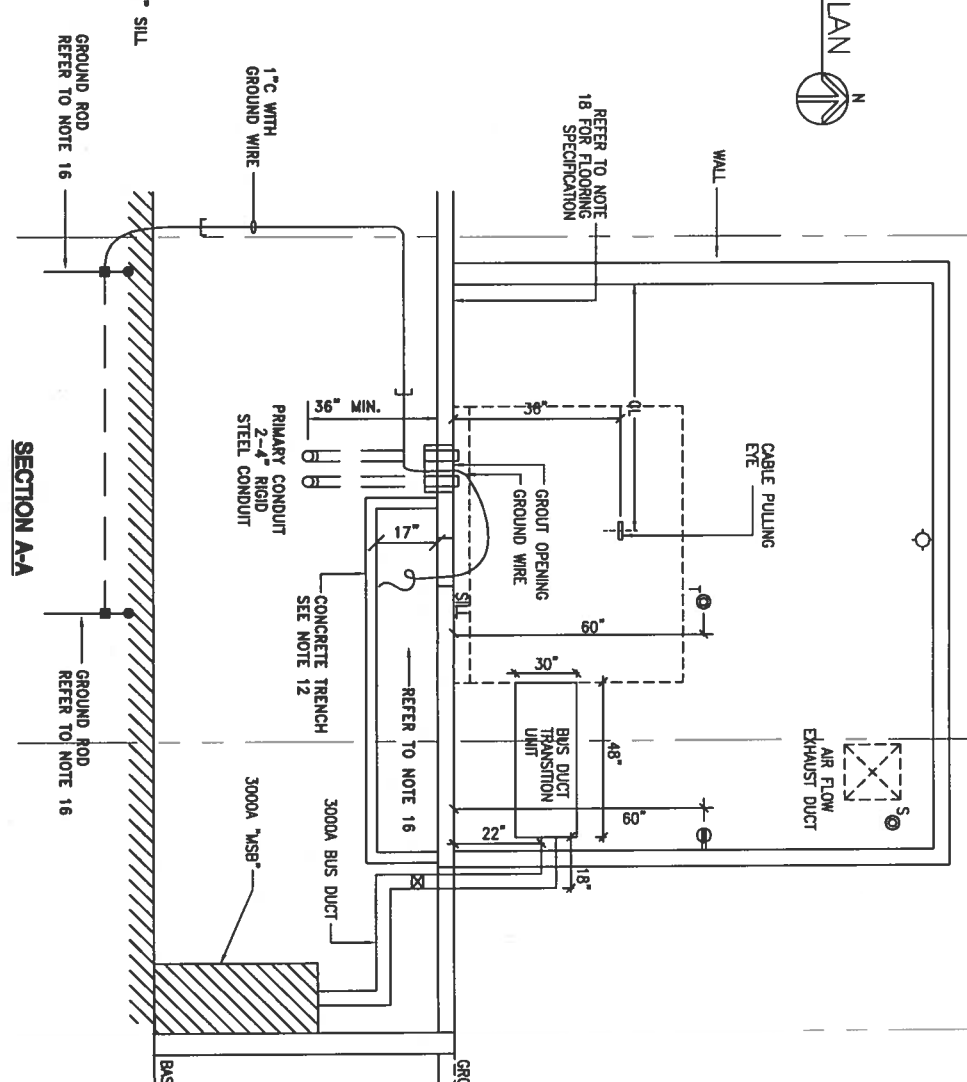
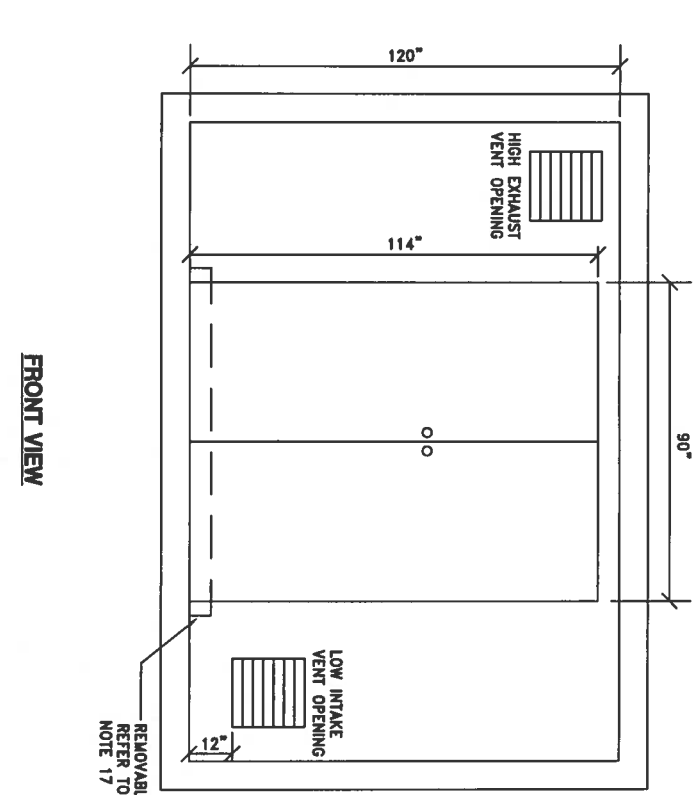
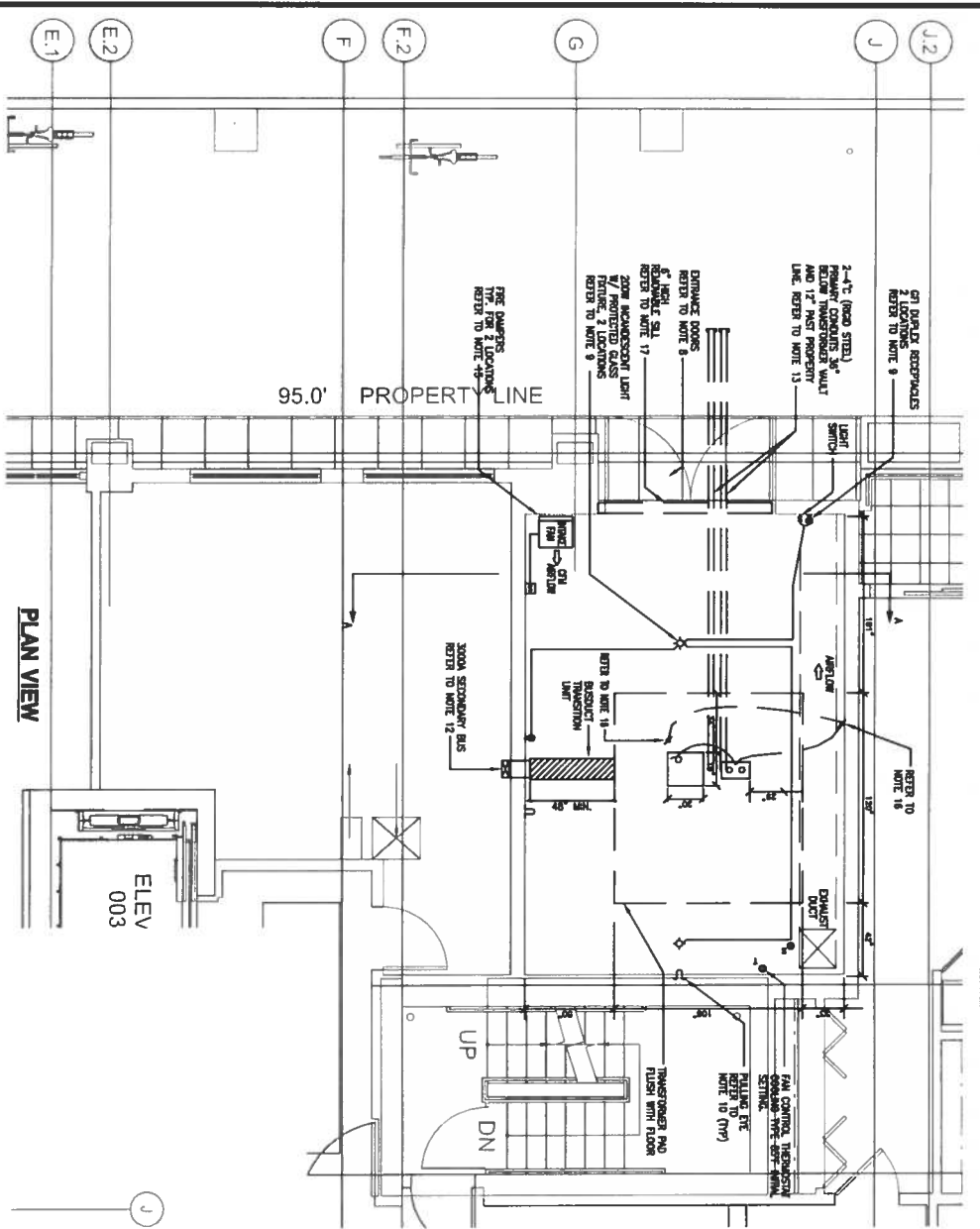
MHC ENGINEERS
 100 8TH STREET
 SAN FRANCISCO, CA 94103
 PH: (415) 512-7141
 FAX: (415) 512-7120

490 S. VAN NESS
 SAN FRANCISCO, CALIFORNIA

MAIN SWITCHBOARD, METERING
 SECTION AND UCD VAULT ELEVATION

02/09/2015
 AS NOTED
 MHC

E0.2

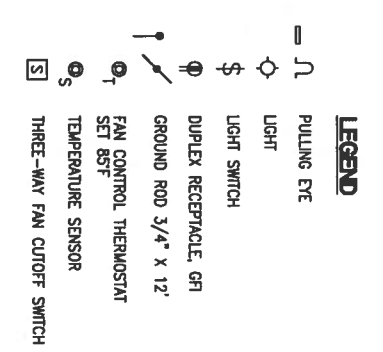


1 DRY VAULT AND ELECTRICAL ROOM ENLARGED PLAN
SCALE: 1/4" = 1'-0"

2 PG&E DRY VAULT DETAIL (3 HR FIRE RATING MINIMUM)
SCALE

DRY TRANSFORMER VAULT DRAWING NOTES AT GRADE LEVEL

- The applicant will provide space on its property for PG&E's standard facilities, (and mounted transformer and associated equipment of grade level, if a space is not available, the use of the franchise by PG&E to install underground facilities is acceptable. Under these conditions, PG&E may install these special facilities provided the applicant's load do not exceed the capability of such facilities, meet working space clearance requirements and provide the additional cost of such special facilities. The applicant shall provide the necessary permits, fees, and other costs of the franchise and any other associated costs. PG&E shall provide the necessary permits, fees, and other costs of the franchise and any other associated costs. PG&E shall provide the necessary permits, fees, and other costs of the franchise and any other associated costs.
- The applicant will construct, own and maintain the transformer vault and any other associated substation on the property. This provision is in accordance with the regulated with an approved by the CPUC. The vault must meet all city, county, and state codes and all applicable regulations, as well as PG&E's requirements for safe installation and operations of the vault.
- PG&E must review and approve a "not-for-construction vault drawing" prior to the construction of the vault. Once approved, PG&E will forward it to the associated specification sheets to the sender for his/her use and distribution to the general contractor. PG&E requires notification of any design or construction changes. PG&E must review and approve these changes before proceeding with construction.
- The applicant must provide PG&E with a "not-for-construction vault drawing" for review and approval. PG&E will inspect the vault on all existing vaults to ensure that the proper installation and placement of various items required. PG&E inspection will not be initiated until the vault has been completed and clear of any debris for safe working environment. PG&E inspector must accept sign and off before energizing new service. For vault inspection, please contact PG&E representative.
- The applicant will design the vault based on the installation of the ultimate size transformer and working space requirements to serve the main substation capability. Refer to PG&E Drawing No. 057521, Sheets 1 to 5 (revised 6/21/12).
- No foreign equipment shall pass through or terminate in the transformer vault. Do not install a sprayer system since our transformer contain oil. Use surface mounted electrical conduits and a spare protection and their own Department.
- The vault shall be constructed (including floor, ceiling and doors) to meet a minimum of 2-hour fire rating. Seal off all openings of the interior of the building with approved caulking material. The vault must be built in the concrete materials.
- Provide access to the vault via an outside entrance which should be accessible at all times to the authorized PG&E Company personnel. However, should it become necessary to accept access through the customer's premises, arrangements shall be made to ensure that complete access for both equipment and authorized personnel is available whenever required. If exterior access can not be provided, a path inside the building is acceptable under certain conditions with PG&E's approval. Doors must open 180 degrees and be secured in place.
- Provide a minimum of TWO (2) wet protective gas non-toxic light fixtures and convenient GFI duplex receptacles, minimum 20 inches above the finished floor (or PG&E Drawing 054430, Sheets 1 to 5).
- Provide pulling eyes (material code 36-2023) with a working load of 10,000 pounds times a safety factor of 2. Install the pulling eye (1/4 inch diameter) in the steel and surface) 36" above finished floor and centered in directly across from the door opening. Submit an engineering-stamp drawing to PG&E for its approval for any pulling eye deviations. (Refer to PG&E Drawing 092119).
- Provide secondary base penetration into the vault for mesh which beards greater than 3000 amp. Provide secondary base penetration into the vault for mesh which beards greater than 3000 amp. Provide secondary base penetration into the vault for mesh which beards greater than 3000 amp. Provide secondary base penetration into the vault for mesh which beards greater than 3000 amp.
- Provide two 4-inch primary conduits from the transformer location and extend them one foot past the property line 36 inches below street grade. Refer to PG&E's Green Book Drawing UC-4, and certain conditions, provide a trench for routing of the primary cables.
- Provide a 2000 CFM forced air ventilation system via direct aspiration roof fan (Inlet) and associated equipment. Minimum cross ventilation via low vent (Inlet) and high vent (exhaust). Install 1/2 inch mesh screen on both sides of the fan assembly. Refer to PG&E Drawing 054103, Sheets 12 to 14. Install remote thermostat sensor of exhaust venting. Vent air venting by not less than 36 inches square one of all openings. Refer to PG&E Drawing 0500402).
- Provide 6-inch removable sill across all entrance of all containment. Caulk all gaps leading to the exterior of the building. Provide a 36 inch x 36 inch x 3/4 inch steel plate, 22 gauge for protection for emergency purposes. Sill doors must open outward.
- Provide a vault floor that is capable of supporting the weight of the ultimate transformer (18,000 pounds). Provide additional floor support of (3000 pounds) to accommodate the weight of the vault specifications and requirements.



490 S. VAN NESS
SAN FRANCISCO, CALIFORNIA

MHC ENGINEERS
150 8TH STREET
SAN FRANCISCO, CA 94103
(415) 774-7141
FAX (415) 913-7120

02/09/2015
MHC
E1.1

DRY VAULT ROOM
ENLARGED PLAN

A. HOUSE LOADS (Corridor, Common areas etc.)

Total Area = 4,685 sq.ft Garage = remainder 4,685

(1) Non-Continuous Load

a) Receptacles (NEC Table 220-12)
Assume 0.25VA/sq.ft
4,685 sq.ft X 1 VA/sq.ft = 4,685 VA

Total Demand 4,685 VA
1st 10kVA @ 100% 4,685 VA
Remainder @ 50% 0 VA
4,685 VA

(2) Continuous Load

a) General Lighting (NEC 220-12(a))
4,685 sq.ft X 3 VA/sq.ft = 14,055 VA
b) Garage
0 sq.ft X 0.5 VA/sq.ft = 0 VA
14,055 VA

(3) Appliance Loads

| QTY | TYPE | HP/Amps/ Watts | VOLTS | PHASE | |
|-----|--------------------------|-------------------|-------|-------|------------------|
| | Sewer Ejector | 3HP | 208 | 3 | VA |
| | Scavenger Fan | 1/4HP | 120 | 1 | VA |
| | Window Wash Lift | | 208 | 1 | VA |
| | Trash Compactor | 5HP | 208 | 3 | VA |
| | Jockey Pump | 5HP | 208 | 3 | VA |
| | Circulating pump | 3/4HP | 120 | 1 | VA |
| | Water Booster Pump | 3HP | 208 | 3 | VA |
| 2 | Exhaust Fan | 5HP | 208 | 3 | 13,000 VA |
| | Trash Chute Fan | 1HP | 120 | 1 | VA |
| | Central Gas Wtr Htr Pump | | | | VA |
| | Remote Radiator | 10HP | 208 | 3 | VA |
| 2 | Elevator | 25HP | 208 | 3 | 70,600 VA |
| | | | | | <u>83,600 VA</u> |

(4) Service Required

a) (1) + (2) + (3) = 102.3 KVA
b) Plus 25% of Continuous Load = 3.5 KVA
c) Plus 25% of Largest Motor Load = 17.7 KVA
d) Total = 123.5 KVA
e) Voltage = 120/208V, 3PH, 4W
f) Calculated Amps = 343 Amps
g) Required Service Amps = 600 Amps

B. COMMERCIAL SPACE #1, #2 & #3

Area = 3,299 sq.ft

a) Receptacles (NEC Table 220-12)
3,299 sq.ft X 10 VA/sq.ft = 32,990 VA

Total Demand 32,990 VA
1st 10kVA @ 100% 32,990 VA
Remainder @ 50% 0 VA
32,990 VA

b) General Lighting (NEC 220-12(a))
3,299 sq.ft X 8 VA/sq.ft = 26,392 VA

c) AC Unit
3,299 sq.ft X 14 VA/sq.ft = 46,186 VA

d) Service Required
i) (1) + (2) + (3) = 105.6 KVA
ii) Plus 25% of Continuous Load = 28.4 KVA
iii) Plus 25% of Largest Motor Load = 11.5 KVA
iv) Total = 143.5 KVA
v) Voltage = 120/208V, 3PH, 4W
vi) Calculated Amps = 398 Amps
vii) Required Breaker Size = 400 Amps

TOTAL BUILDING ELECTRIC SERVICE REQUIRED:

| House Loads | Commercial Loads | Residential Loads (See sheet A) |
|---------------------------------------|------------------|---------------------------------|
| 124 KVA | 144 KVA | 694 KVA |
| Total Building Demand | | 961 KVA |
| Calculated Amps (@ 120/208V, 3ph, 3W) | | 2,667 Amps |
| Service Amps Required (3ph, 4W) | | 3,000 Amps |
| Service Voltage | | 120/208 Volts |

PROJECT NUMBER: 0
 PROJECT: 490 S. Van Ness San Francisco
 PREPARED BY: 0

DATE: 12/23/2014
 SHEET: A
 CHECKED BY: 0

NATIONAL Standard Calculation for Determining Size of ELECTRICAL Service and
 ELECTRICAL ELECTRICAL Feeders for multi-family dwelling units, as per CODE SECTION
 CODE SECTION NEC. 2010 Article 220, Part III; Ch 9 B - Examples

TOTAL AREA = **51,033 SqFt**

I. TOTAL COMPUTED LOAD:

LIGHTING AND SMALL APPLIANCE LOAD

| | | | | | | | | | | |
|--------------------------------------|----|----|----|--------|---|--------------|---|---|------------|-----------|
| From Sht. | 1 | of | 24 | -Type: | A | No.of Units: | 5 | x | 7,119 VA = | 35,595 VA |
| From Sht. | 2 | of | 24 | -Type: | B | No.of Units: | 5 | x | 5,871 VA = | 29,355 VA |
| From Sht. | 3 | of | 24 | -Type: | C | No.of Units: | 6 | x | 7,338 VA = | 44,028 VA |
| From Sht. | 4 | of | 24 | -Type: | D | No.of Units: | 5 | x | 7,272 VA = | 36,360 VA |
| From Sht. | 5 | of | 24 | -Type: | E | No.of Units: | 4 | x | 6,891 VA = | 27,564 VA |
| From Sht. | 6 | of | 24 | -Type: | F | No.of Units: | 5 | x | 7,257 VA = | 36,285 VA |
| From Sht. | 7 | of | 24 | -Type: | G | No.of Units: | 6 | x | 7,245 VA = | 43,470 VA |
| From Sht. | 8 | of | 24 | -Type: | H | No.of Units: | 5 | x | 7,191 VA = | 35,955 VA |
| From Sht. | 9 | of | 24 | -Type: | I | No.of Units: | 6 | x | 6,120 VA = | 36,720 VA |
| From Sht. | 10 | of | 24 | -Type: | J | No.of Units: | 4 | x | 7,074 VA = | 28,296 VA |
| From Sht. | 11 | of | 24 | -Type: | K | No.of Units: | 4 | x | 6,108 VA = | 24,432 VA |
| From Sht. | 12 | of | 24 | -Type: | L | No.of Units: | 4 | x | 5,772 VA = | 23,088 VA |
| From Sht. | 13 | of | 24 | -Type: | M | No.of Units: | 1 | x | 6,357 VA = | 6,357 VA |
| From Sht. | 14 | of | 24 | -Type: | N | No.of Units: | 2 | x | 5,601 VA = | 11,202 VA |
| From Sht. | 15 | of | 24 | -Type: | O | No.of Units: | 1 | x | 6,402 VA = | 6,402 VA |
| From Sht. | 16 | of | 24 | -Type: | P | No.of Units: | 1 | x | 6,894 VA = | 6,894 VA |
| From Sht. | 17 | of | 24 | -Type: | Q | No.of Units: | 1 | x | 6,561 VA = | 6,561 VA |
| From Sht. | 18 | of | 24 | -Type: | R | No.of Units: | 1 | x | 5,868 VA = | 5,868 VA |
| From Sht. | 19 | of | 24 | -Type: | S | No.of Units: | 1 | x | 7,209 VA = | 7,209 VA |
| From Sht. | 20 | of | 24 | -Type: | T | No.of Units: | 1 | x | 7,458 VA = | 7,458 VA |
| From Sht. | 21 | of | 24 | -Type: | U | No.of Units: | 1 | x | 6,465 VA = | 6,465 VA |
| From Sht. | 22 | of | 24 | -Type: | V | No.of Units: | 2 | x | 6,654 VA = | 13,308 VA |
| From Sht. | 23 | of | 24 | -Type: | W | No.of Units: | 1 | x | 6,432 VA = | 6,432 VA |
| From Sht. | 24 | of | 24 | -Type: | X | No.of Units: | 1 | x | 7,767 VA = | 7,767 VA |
| 73 | | | | | | | | | | |
| SUB-TOTAL COMPUTED LOAD = 493,071 VA | | | | | | | | | | |

APPLICATION OF DEMAND FACTOR

| | | | | | | |
|--------------|--------------------------------|------------|---|------|---|-----------|
| Table 220-42 | First 3000 VA of Lighting Load | 3,000 VA | x | 100% | = | 3,000 VA |
| | From 3001 to 120,000 VA | 117,000 VA | x | 35% | = | 40,950 VA |
| | Remainder over 120,000 VA | 373,071 VA | x | 25% | = | 93,268 VA |

NET LIGHTING LOAD SUB-TOTAL [A] = **137,218 VA**

APPLIANCE LOADS

| | | | | QUANTITY | | | |
|--------------|---------------------|----------|---|----------|---|-------|-------------|
| Table 220-53 | Disposal | 1,200 VA | x | 68 | x | 75% | = 61,200 VA |
| | Dishwasher..... | 1,200 VA | x | 68 | x | 75% | = 61,200 VA |
| | Microwave/Oven..... | 1,500 VA | x | 68 | x | 75% | = 76,500 VA |
| | Refrigerator..... | 1,200 VA | x | 68 | x | 75% | = 61,200 VA |
| | Water Heater..... | 1,500 VA | x | 68 | x | 75% | = 76,500 VA |
| | Kitchen Hood | 910 VA | x | 68 | x | 75% | = 46,410 VA |
| | Bathroom Fan | 250 VA | x | 68 | x | 75% | = 12,750 VA |
| Tbl 220-54 | Electric dryer | 5,000 VA | x | 68 | x | 25.0% | = 85,000 VA |
| Tbl 220-55 | Electric range | 8,000 VA | x | 68 | | | = 76,000 VA |
| | House Load | | x | | x | | = VA |
| | Addl. if any | | x | | x | | = VA |
| | Addl. if any | | x | | x | | = VA |

HOUSE & APPLIANCE LOAD SUBTOTAL [B] = **556,760 VA**

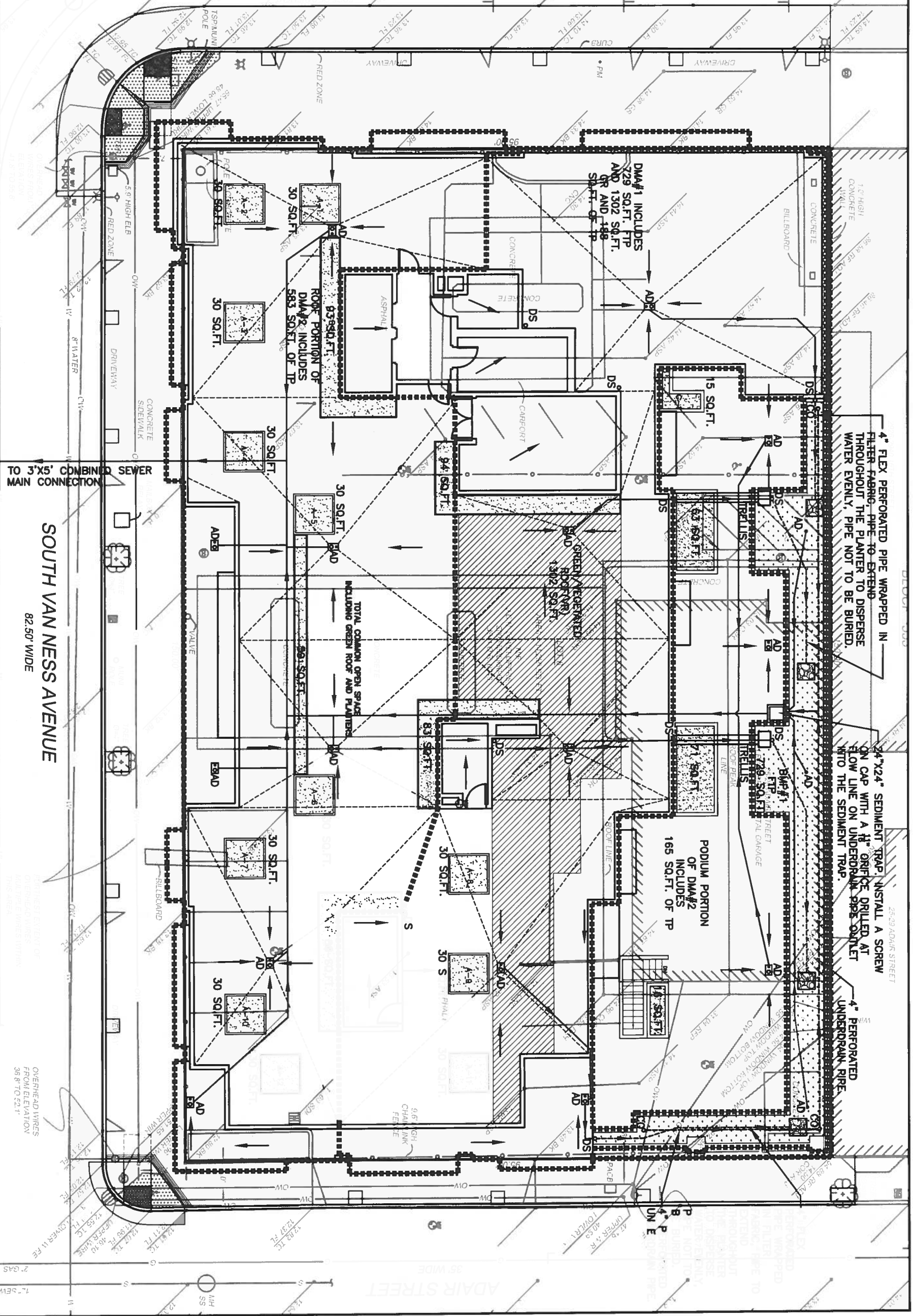
Tbl 220-51 Space Heating 0 VA/SqFt x 51,033 SqFt [C] = **VA**

NET TOTAL COMPUTED LOAD: [A] + [B] + [C] = [D] = **693,978 VA**

II. SERVICE:

| | | | | | |
|-----------------------------|-----------------------------|----------------------------|-------|-------|------------------|
| | | VOLTAGE | PHASE | WIRES | |
| | | 208V | 3 Ph | 4 W | |
| Total Amps = net total load | | 693,978 VA / sqrt 3 x 208V | | | = 1,926 A |
| Table 310-15(b).16 | Wire size = | Table 250-66: | | | |
| Chapter 9 Table 3B | Conduit size = | Ground Size = 4 | | | |
| Section 240-6 | MAIN BREAKER/FUSE = (blank) | POLE = 2 | | | |

16TH STREET
80' WIDE



4" FLEX PERFORATED PIPE WRAPPED IN FILTER FABRIC PIPE TO EXTEND THROUGHOUT THE PLANTER TO DISPERSE WATER EVENLY. PIPE NOT TO BE BURIED.

24"x24" SEDIMENT TRAP INSTALL A SCREW ON CAP WITH A 1/2" ORIFICE DRILLED AT FLOW LINE ON UNDERDRAIN SIDE OUTLET INTO THE SEDIMENT TRAP.

4" PERFORATED UNDERDRAIN PIPE

DMA#1 INCLUDES 729 SQ.FT. TP AND 1502 SQ.FT. OR AND 148 SQ.FT. OF TP

ROOF PORTION OF DMA#2 INCLUDES 583 SQ.FT. OF TP

PODIUM PORTION OF DMA#2 INCLUDES 165 SQ.FT. OF TP

TOTAL COMMON OPEN SPACE INCLUDING GREEN ROOF AND PLANTERS

TO 3"x5" COMBINED SEWER MAIN CONNECTION

SOUTH VAN NESS AVENUE
82.50' WIDE

ADAIR STREET
35' WIDE

KCA ENGINEERS, INC.
CONSULTING ENGINEERS - ARCHITECTS - PLANNERS
200 MARKET STREET, SUITE 2000, SAN FRANCISCO, CA 94102
TELEPHONE: 415.774.2200
FAX: 415.774.2201
WWW.KCAENGINEERS.COM

| NO. | DESCRIPTION | DATE |
|-----|--------------------|----------|
| 1 | ISSUED FOR PERMITS | 07/15/14 |
| 2 | REVISION | 08/14/14 |
| 3 | REVISION | 09/11/14 |
| 4 | REVISION | 10/01/14 |
| 5 | REVISION | 10/01/14 |
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| 100 | REVISION | 10/01/14 |

FRANCISCO

STORM WATER CONTROL PLAN
490 SOUTH VAN NESS AVENUE
ASSASSOR'S BLOCK

DATE: 10/01/14
SCALE: AS SHOWN

OVERHEAD WIRES FROM ELEVATION 36.8 TO 52.1'

EXISTING CONDITIONS:

TOTAL SITE INCLUDING ROOF OVERHANGS = 14,686 SQ.FT.
 TOTAL SITE WITHIN PROPERTY LINE = 14,250 SQ.FT.
 PAVEMENT = 10,272 SQ.FT.
 ROOF = 4,236 SQ.FT.
 LANDSCAPING = 178 SQ.FT.

PROPOSED CONDITIONS:

TOTAL SITE INCLUDING ROOF OVERHANGS = 14,686 SQ.FT.

DMA CHART:



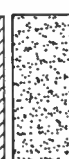

| | DESCRIPTION | ROOF/ PODIUM DECK | FTP | PLANTERS | VEGETATED ROOF | TOTAL DMA | DMA TO FTP RATIO |
|-------|-----------------|-------------------------|-----|----------|-------------------|--------------|---------------------|
| DMA#1 | ROOF TO FTP | 4,723 | 729 | 188 | 1,302 | 6,942 | 9.5 |
| DMA#2 | TO GSSI/NO TRAP | 6,996 | | 748 | | 7,744 | |
| TOTAL | | 11,719 | 729 | 936 | 1,302 | 14,686 | |

AREAS IN SQUARE FEET=SQ.FT.
 DMA = DRAINAGE MANAGEMENT AREA FTP = FLOW THROUGH PLANTER

CALCULATION SUMMARY:

| QUANTITY CONTROL PARAMETER | EXISTING CONDITIONS | PROPOSED CONDITIONS | % REDUCTION FROM EXISTING CONDITIONS |
|-------------------------------|---------------------|---------------------|--------------------------------------|
| 2-YR, 24 HR: PEAK FLOW (cfs) | 0.507 | 0.275 | 46% |
| 2-YR, 24 HR: PEAK VOLUME (cf) | 3,178 | 2,735 | 14% |

LEGEND:

-  FLOW-THROUGH PLANTER, 30" MEDIA, 6" PONDING, 2" FREEBOARD
-  DRAINAGE MANAGEMENT AREA BOUNDARY
-  TRADITIONAL PLANTER, 36" TALL, 35" MEDIA, NO PONDING, 1" ORIFICE OUTLET
-  VEGETATED ROOF, 6" MEDIA DEPTH

- AD AREA DRAIN
- BMP BEST MANAGEMENT PRACTICE
- CO CLEANOUT
- CS COMBINED SEWER
- DMA DRAINAGE MANAGEMENT AREA
- DS DOWNSPOUT
- FTP FLOW THROUGH PLANTER
- SD STORM DRAIN
- SQ.FT. SQUARE FEET
- TBD TO BE DETERMINED
- TP TRADITIONAL PLANTER
- VR VEGETATED ROOF
- W WATER

NOTES:

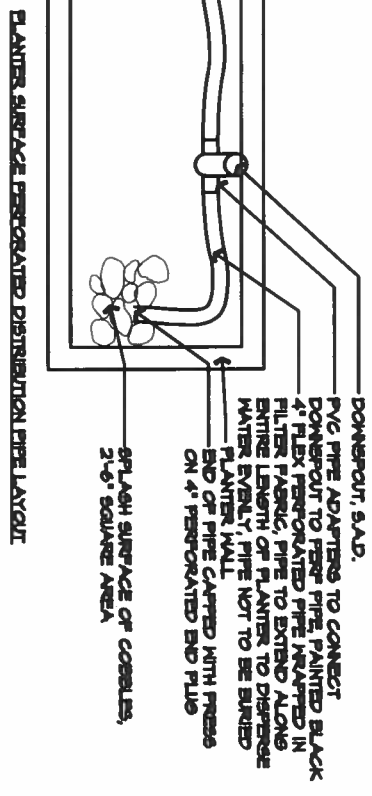
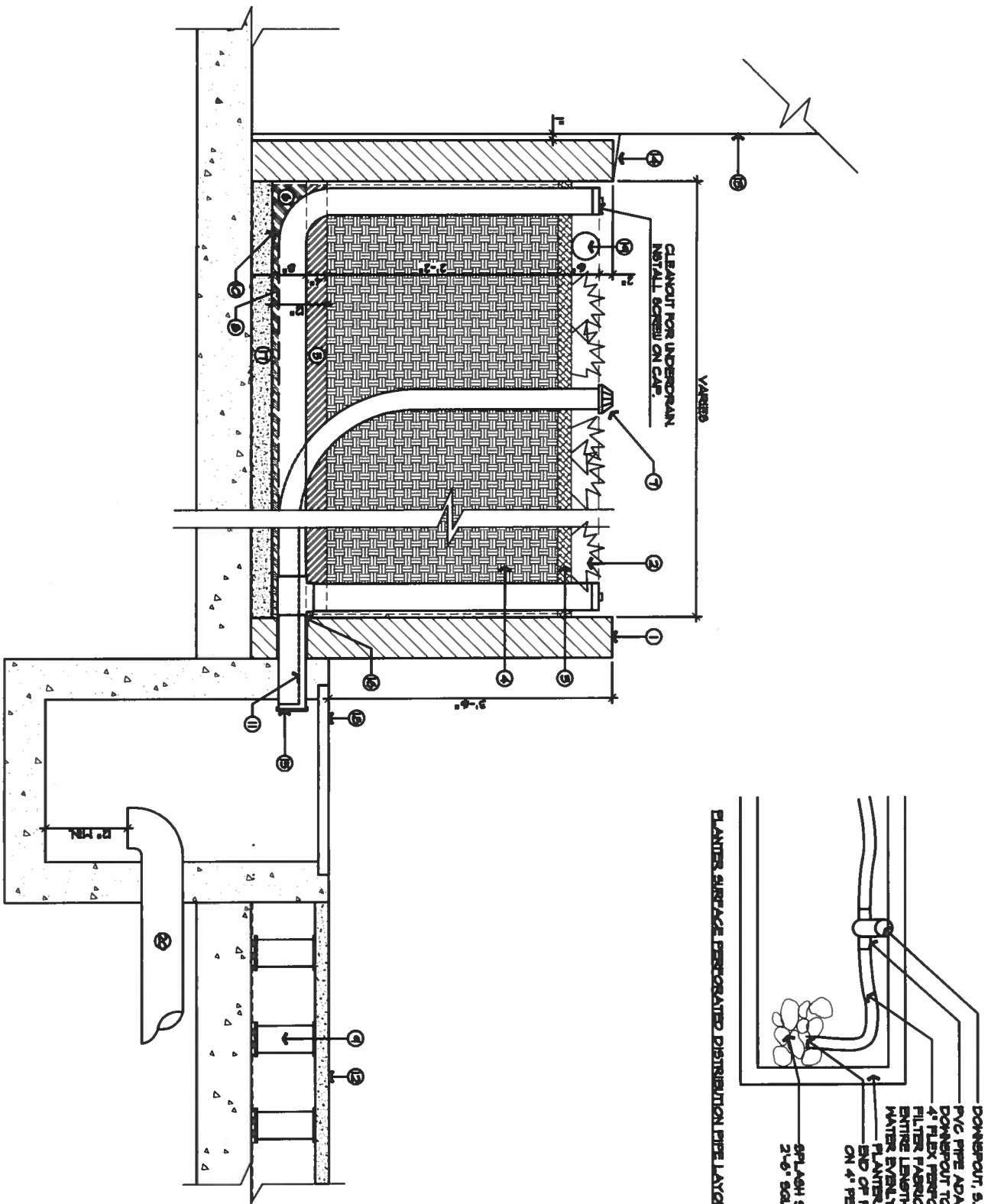
1. THIS PLAN DEPICTS STORMWATER RUNOFF DRAINAGE MANAGEMENT AREAS AND BMPS AS DEFINED IN THE SFPUC STORMWATER CONTROL PLAN (SCP) APPLICATION.
2. BMPS ARE SIZED FOR A 2-YEAR, 24-HOUR STORM EVENT.
3. THE PROJECT APPLIED AND WAS GRANTED MODIFIED COMPLIANCE WITH THE REQUIREMENT TO ACHIEVE A 40% REDUCTION IN RUNOFF RATE AND A 10% REDUCTION IN RUNOFF VOLUME.
4. REFER TO CALCULATIONS IN APPENDIX B OF THE APPLICATION
5. SEE APPENDIX C FOR THE STREET/SIDEWALK IMPROVEMENT PLAN, THE EXISTING CONDITIONS PLAN, AND THE SITE PLAN AND OTHER REVELANT PLANS.
6. DMA AREAS DRAIN TO RESPECTIVE NUMBERED FTP.

| NO. | DATE | DESCRIPTION | BY | CHK |
|-----|----------|-------------------|----|-----|
| 1 | 07/14/14 | ISSUED FOR PERMIT | | |
| 2 | 07/14/14 | ISSUED FOR PERMIT | | |
| 3 | 07/14/14 | ISSUED FOR PERMIT | | |
| 4 | 07/14/14 | ISSUED FOR PERMIT | | |
| 5 | 07/14/14 | ISSUED FOR PERMIT | | |
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| 19 | 07/14/14 | ISSUED FOR PERMIT | | |
| 20 | 07/14/14 | ISSUED FOR PERMIT | | |

SAN FRANCISCO

STORM WATER CONTROL PLAN - DRAINAGE MANAGEMENT PLAN - NOTES
 490 SOUTH VAN NESS AVENUE
 ASSESSOR'S BLOCK 3553; LOT 008

CALIFORNIA



- ① CAST IN PLACE PLANTER WALL W/ WATERPROOFING, S.A.D.
- ② PLANTING, SEE LANDSCAPE PLAN
- ③ 2" MULCH LAYER
- ④ BIORETENTION PLANTING SOIL
- ⑤ ASTM #1 OR CLASS 1 TYPE A
- ⑥ OVERFLOW AREA DRAIN WITH AIRLUM GRATE (NO. 5" DIA. #14) AND 3" DIA. STORM DRAIN PIPE RISER TO A 4" COLLECTION PIPE. STORM DRAINAGE FLOWS TO PROPOSED SEDIMENT TRAP BEFORE TYPING INTO BUILDING STORM DRAIN SYSTEM THAT SHALL CONNECT TO THE COMBINED SEWER MAIN IN THE PUBLIC RIGHT OF WAY. OVERFLOW SEPARATE FROM UNDERDRAIN.
- ⑦ 4" PERFORATED PVC UNDERDRAIN PIPE
- ⑧ PAVES PEDISTAL
- ⑨ WATERPROOFING, S.A.D.
- ⑩ 4" DIA. OVERFLOW AREA DRAIN COLLECTOR PIPES OUTLET INTO SEDIMENT TRAP ON EITHER SIDE OF THE UNDERDRAIN PIPE OUTLET.
- ⑪ ROOF PAVES, S.A.D.
- ⑫ FACE OF BUILDING
- ⑬ FLASHING, S.A.D.
- ⑭ 4" DIA. UNDERDRAIN OUTLET PIPE, SCREEN ON CAP WITH A 1/16" ORIFICE DRILLED AT FLOW LINE.
- ⑮ SEAL WALL PENETRATIONS FOR WATER PROOFING CONSULTANT, S.A.D.
- ⑯ 2" MIN. CONC. TOPPING W/ 1% SLOPE TOWARDS DRAIN AT 5% S.A.D.
- ⑰ 24"x24" SEDIMENT TRAP WITH ACCESSIBLE GRATE
- ⑱ PERFORATED DISTRIBUTION PIPE
- ⑳ 6" DIA. BUILDING STORM DRAIN LINE, SEE FLASHING PLANS.

1 BMP1 - CAST IN PLACE FLOW THROUGH PLANTER SECTION

NOT TO SCALE

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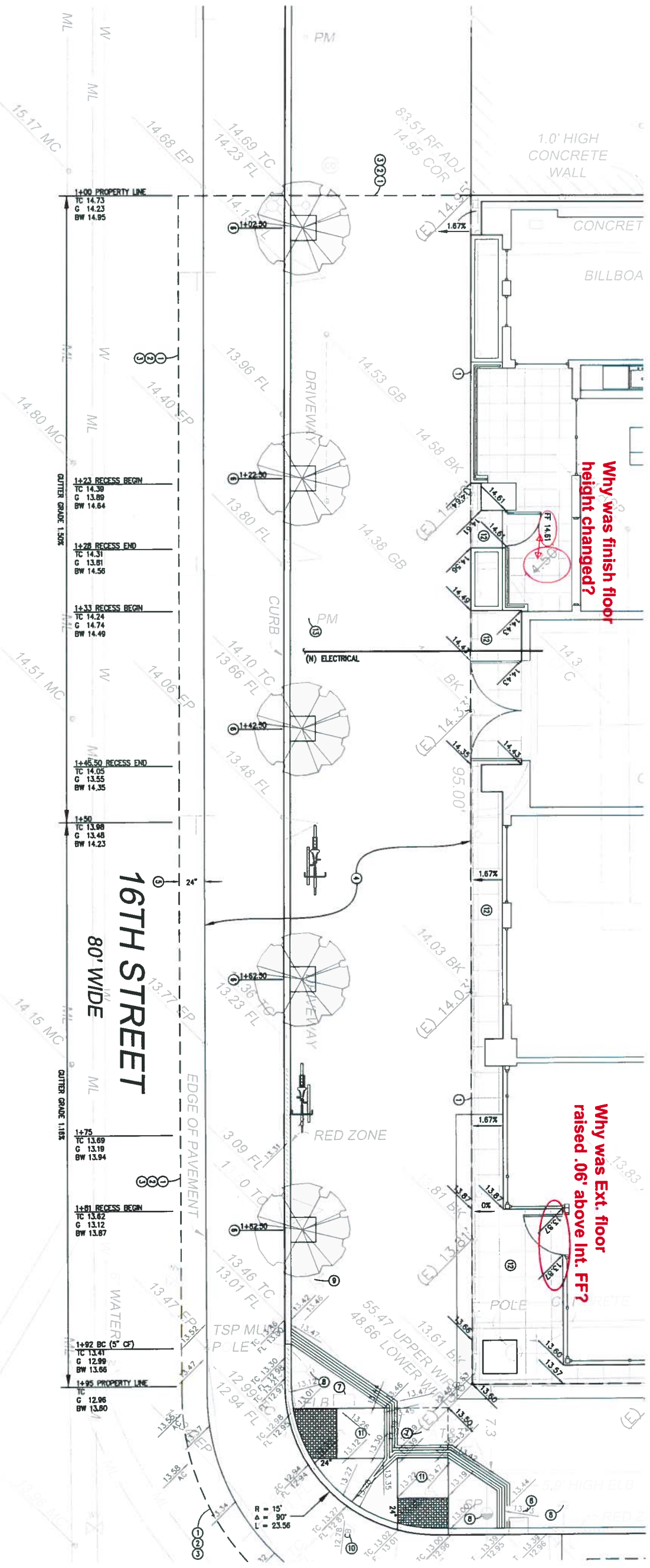
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| PROJECT NO. | 5888 |
| DATE | 07/14/14 |
| BY | SS |
| CHECKED | SS |
| DATE | 07/14/14 |
| SCALE | AS SHOWN |
| PROJECT | STORM WATER CONTROL PLAN - DRAINAGE MANAGEMENT PLAN - DETAILS |
| LOCATION | 490 SOUTH VAN NESS AVENUE ASSESSOR'S BLOCK 3653; LOT 008 |
| CITY | SAN FRANCISCO |
| COUNTY | CALIFORNIA |

STORM WATER CONTROL PLAN - DRAINAGE MANAGEMENT PLAN - DETAILS
 490 SOUTH VAN NESS AVENUE
 ASSESSOR'S BLOCK 3653; LOT 008
 SAN FRANCISCO
 CALIFORNIA

SEE SHEET 2 FOR SIDEWALK ON S VAN NESS AVENUE

SOUTH VAN NESS AVENUE

82.50' WIDE



GENERAL NOTES:

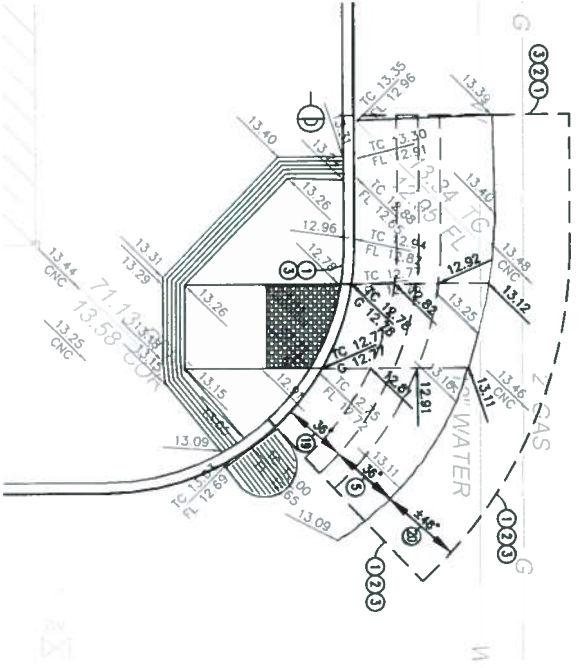
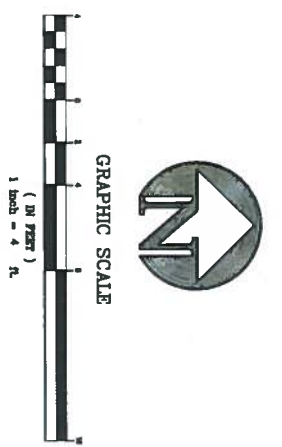
1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY AND COUNTY OF SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS, WHICH ARE AVAILABLE ONE LINE AT WWW.SFPURVIEW.COM IN THE PRODUCTS - CONTRACTS & BIDD SECTION.
2. STANDING SHOW IS CALCULATED ALONG THE PROPERTY LINE.
3. BACK OF WALK (BW) ELEVATIONS ARE AT BACK OF WALK AT PROPERTY LINE.
4. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE THE PEDESTRIAN AND UTILITY MARKS WITHIN THE CONSTRUCTION AREA.
5. ELEVATIONS BASED ON CITY OF SAN FRANCISCO DATA.
6. UTILITY INFORMATION BASED ON SURVEYED IMPROVEMENTS AND RECORD INFORMATION. DUE TO INHERENT UNCERTAINTIES IN LOCATING UNDERGROUND UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES IN THE SURVEY AREA BUT NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR VEHICLES LOCATED IN FIELD PRIOR TO DIGGING. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING AT 1-800-642-2444.
7. THE CITY'S WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE CURB. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEHIND TO THE BUILDING.
8. SURVEY PROVIDED BY FREDERICK T. SEYER & ASSOCIATION, INC.
9. INVERT DEPTH OF EXISTING COMBINED SEWER BASED ON CITY RECORD INFORMATION ONLY.

CONSTRUCTION NOTES:

- 1 LIMIT OF WORK.
- 2 SAW CUT LINE.
- 3 MATCH EXISTING.
- 4 REMOVE CURB, GUTTER, PARKING STRIP AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 48" WIDE CONCRETE PARKING STRIP AND 21" WIDE CONCRETE SIDEWALK; OPTICAL SIDEWALK WIDTH IS 15'.
- 5 REMOVE PARKING AND BASE AND CONSTRUCT 2" AC WEARING SURFACE OVER 10" CONCRETE BASE.
- 6 LEAVE OUT A 24"x24" SECTION OF SIDEWALK AT EACH TREE WELL LOCATION.
- 7 ADJUST VAULTS, BOXES, METERS, CLEAN CUTS, ETC. TO THE PLANE OF THE NEW PARKING.
- 8 ADJUST BASES OF EXISTING POLES TO CONFORM TO THE PLANE OF THE NEW PARKING.
- 9 ADJUST THE FIRE HYDRANT TO CONFORM TO THE PLANE OF THE NEW PARKING.
- 10 COMBOWAVE ANY WORK RELATING TO FIRE HYDRANTS WITH THE SAN FRANCISCO FIRE DEPARTMENT.
- 11 ADJUST CATCH BASIN TO THE PLANE OF THE NEW PARKING.
- 12 CONSTRUCT NEW PEDESTRIAN CURB RAMPS WITH GROOVED BORDER AND YELLOW DOLED SURFACE.
- 13 PAVE AREA BETWEEN BACK OF SIDEWALK (LIMIT OF WORK) AND THE FACE OF BUILDING. SEE ARCHITECTURAL PLANS FOR MATERIAL, SLOPING, SURFACE REFINISHMENT, ETC.

ABBREVIATIONS:

- BW BACK OF SIDEWALK
- CF CURB FACE
- CS COMBINED SEWER
- DP DUCTILE IRON PIPE
- G GUTTER
- SSO STORM SEWER
- STW STORM WATER
- SW SWASTERY SEWER
- TC TOP OF CURB
- TP TO BE DETERMINED
- VP WINDSTIC CLAY PIPE
- WATER WATER
- WM WATER METER



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| APPROVED: | PROJECT NO. | DATE | REV. | BY |
| | 5888 | 12/23/14 | | |

| NO. | DATE | DESCRIPTION |
|-------|------|----------------|
| 02.01 | | NEW UTILITIES |
| 02.02 | | PRELIMINARY |
| 02.03 | | TREE WELLS |
| 02.04 | | PRELIM. DESIGN |

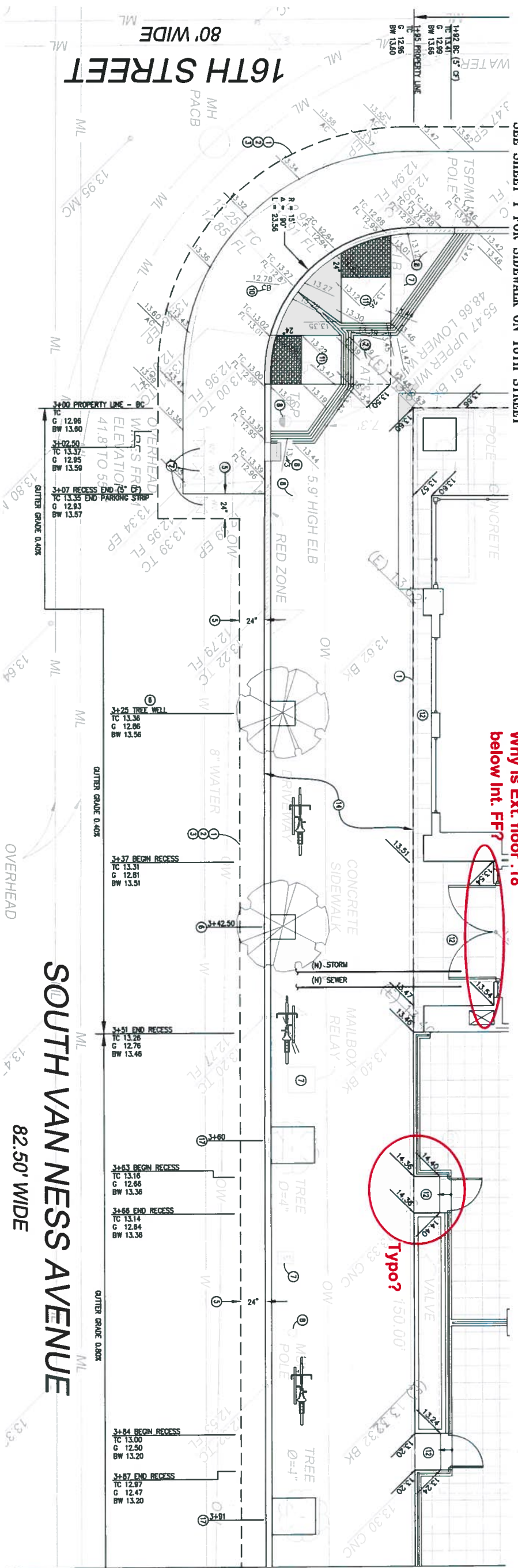
SAN FRANCISCO

SIDEWALK IMPROVEMENT PLAN FOR
490 SOUTH VAN NESS AVENUE
ASSESSOR'S BLOCK 3553; LOT 008

CALIFORNIA

SCALE:
HORIZ. 1" = 4'
VERT. 1" = 4'
1 OF 4

SEE SHEET 1 FOR SIDEWALK ON 16TH STREET



MATCH LINE ~ SEE SHEET 3

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE UNDERWAY IN ACCORDANCE WITH THE CITY AND COUNTY OF SAN FRANCISCO'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND AVAILABLE ONE LINE AT WORK SPECIFICATIONS IN THE PROJECT'S CONTRACT & BID SECTION.
2. STAKING SHOWN IS CALCULATED ALONG THE PROPERTY LINE.
3. BACK OF WALK (BW) ELEVATIONS ARE AT BACK OF WALK AT PROPERTY LINE.
4. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE THE PEDESTRIAN AND VEHICULAR TRAFFIC WITHIN THE CONSTRUCTION AREA.
5. ELEVATIONS BASED ON CITY OF SAN FRANCISCO DATUM.
6. UTILITY INFORMATION BASED ON SURVEYED IMPROVEMENTS AND RECORD INFORMATION. DUE TO INHERENT UNCERTAINTIES IN LOCATING UNDERGROUND FACILITIES THIS INFORMATION CANNOT BE GUARANTEED TO BE COMPLETE. NOR CAN THE ACCURACY BE GUARANTEED. OTHER LINES AND ABANDONED UTILITIES MAY EXIST IN SURVEY AREA BUT WERE NOT LOCATED. EXCAVATE WITH CAUTION. REPORT LOCATIONS IN FIELD PRIOR TO DESIGN. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING AT 1-800-442-2444.
7. THE CITY'S WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE WATER METER. FROM THE WATER METER TO THE BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NECESSARY, THE CITY'S WATER DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEHIND THE CURB LINE. CONTRACTOR WILL BE RESPONSIBLE FROM THIS CONNECTION POINT TO THE BUILDING.
8. SURVEY PROVIDED BY FREDERICK T. SPER & ASSOCIATION, INC.
9. INVERT DEPTH OF EXISTING COMBINED SEWER BASED ON CITY RECORD INFORMATION ONLY.

CONSTRUCTION NOTES:

1. LIMIT OF WORK.
2. SAW CUT LINE.
3. MATCH EXISTING.
4. REMOVE CURB, GUTTER, PARKING STRIP AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 4" WIDE CONCRETE PARKING STRIP AND 3" WIDE CONCRETE SIDEWALK. OFFICIAL SIDEWALK WIDTH IS 7'.
5. REMOVE PAVING AND BASE AND CONSTRUCT 2" AC WEARING SURFACE OVER 10" CONCRETE BASE.
6. LEAVE OUT A 24"x24" SECTION OF SIDEWALK AT EACH TREE WELL LOCATION.
7. ADJUST VALVES, BOXES, METERS, CLEAN OUTS, ETC. TO THE PLANE OF THE NEW PAVING.
8. ADJUST BASES OF EXISTING POLES TO CONFORM TO THE PLANE OF THE NEW PAVING.
9. ADJUST THE FIRE HYDRANT TO CONFORM TO THE PLANE OF THE NEW PAVING. COMPENSATE FOR WORK RELATING TO THE HYDRANTS WITH THE SAN FRANCISCO FIRE DEPARTMENT.
10. ADJUST CATCH BASIN TO THE PLANE OF THE NEW PAVING.
11. CONSTRUCT NEW PEDESTRIAN CURB RAMP WITH GROOVED BORDER AND YELLOW BORDERS SURFACE.
12. PAVE AREA BETWEEN BACK OF SIDEWALK (LIMIT OF WORK) AND THE FACE OF BUILDING. SEE ARCHITECTURAL PLANS FOR MATERIAL, SCORING, SURFACE TREATMENT, ETC.
13. ADJUST PARKING LETTERS TO THE PLANE OF THE NEW PAVING. COORDINATE WORK WITH STAIR.
14. REMOVE CURB AND SIDEWALK AND CONSTRUCT CURB WITH 4.12" WIDE CONCRETE SIDEWALK. OFFICIAL SIDEWALK WIDTH IS 7'.
15. REMOVE CURB AND SIDEWALK CONSTRUCT CONCRETE CURB WITH 4.17" WIDE CONCRETE SIDEWALK. OFFICIAL SIDEWALK WIDTH IS 7'.
16. CONSTRUCT 12" WIDE COMMERCIAL CONCRETE AUTOMOBILE CURB RAMP WITH 6" THICK CONCRETE.
17. LEAVE OUT A 24"x24" SECTION OF SIDEWALK AT EACH EXISTING TREE ALONG SOUTH VAN NESS AVENUE.
18. LEAVE OUT A 3.5'x2.0' SECTION OF SIDEWALK AT THE EXISTING TREE ALONG ADAM STREET.

19. REMOVE CURB AND 36" GUTTER AND CONSTRUCT NEW CONCRETE CURB WITH 3" WIDE CONCRETE GUTTER. PROTECT EXISTING SIDEWALK AND PEDESTRIAN RAMP IN PLACE.
20. GRIND 3/4" MINIMUM AC OR REMOVE EXISTING PAVING AND BASE AS NECESSARY TO RESULT IN A MINIMUM OF 1 1/2" WEARING SURFACE OVER 10" CONCRETE BASE.
21. CONSTRUCT PEDESTRIAN CURB RAMP WITH GROOVED BORDER, YELLOW BORDERS SURFACE AND CURB WITH 24" WIDE GUTTER.



GRAPHIC SCALE
1 inch = 4 feet

ABBREVIATIONS:

| | |
|------|-------------------|
| BW | BACK OF SIDEWALK |
| CF | CURB FACE |
| CS | COMBINED SEWER |
| DP | DUCTILE IRON PIPE |
| G | GUTTER |
| OP | OPEN |
| PP | PEDESTRIAN |
| SS | SANITARY SEWER |
| SSCO | TO BE DETERMINED |
| TE | TO BE DETERMINED |
| TD | WATERED CLAY PIPE |
| WVP | DOMESTIC WATER |
| WM | WATER METER |

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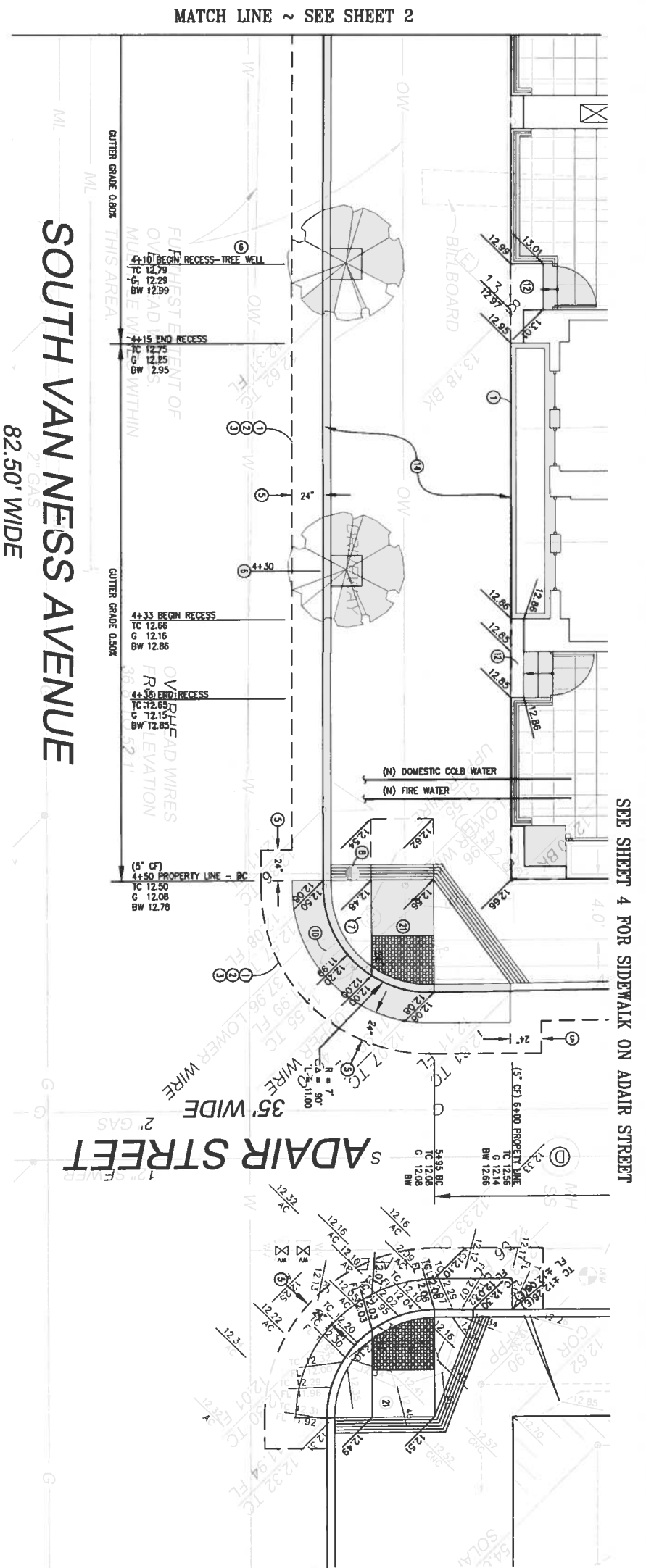
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| APPROVED: | PROJECT NO.: | DATE: | NO.: |
| | 5888 | 12/03/14 | 5888 |

SAN FRANCISCO

SIDEWALK IMPROVEMENT PLAN FOR
490 SOUTH VAN NESS AVENUE
ASSESSOR'S BLOCK 3553; LOT 008

CALIFORNIA

SCALE:
HORIZ. 1" = 4'
VERT. 1" = 4'
2 OF 4



SEE SHEET 4 FOR SIDEWALK ON ADAIR STREET

MATCH LINE ~ SEE SHEET 2

SOUTH VAN NESS AVENUE
82.50' WIDE

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY AND COUNTY OF SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS WHICH ARE AVAILABLE ONE LINE AT WWW.SFPUBLICWORKS.COM IN THE PROJECTS - CONTRACTS & BID SECTION.
2. STAKING SHOWN IS CALCULATED ALONG THE PROPERTY LINE.
3. BACK OF WALK (BW) ELEVATIONS ARE AT BACK OF WALK AT PROPERTY LINE.
4. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REROUTED THE PEDESTRIAN AND VEHICULAR TRAFFIC WITHIN THE CONSTRUCTION AREA.
5. ELEVATIONS BASED ON CITY OF SAN FRANCISCO DATUM.
6. UTILITY INFORMATION BASED ON SURVEYED APPROVED PLANS AND RECORD INFORMATION. DUE TO INHERENT UNCERTAINTIES IN LOCATING UNDERGROUND FACILITIES THIS INFORMATION CANNOT BE GUARANTEED TO BE COMPLETE. NOIR CAN EXIST IN SURVEY AREA BUT WERE NOT LOCATED. EXCAVATE WITH CAUTION. ADVISE PROPERTY OWNER PRIOR TO WORK. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING AT 1-800-942-2444.
7. THE CITY'S WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE WATER METER FROM THE WATER METER TO THE BUILDING. THE RESPONSIBILITY OF THE CONTRACTOR, IF NECESSARY, THE CITY'S WATER DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEHIND THE BUILDING. CONTRACTOR WILL BE RESPONSIBLE FROM THIS CONNECTION POINT TO THE BUILDING.
8. SURVEY PROVIDED BY FREDERICK I. SPER & ASSOCIATION, INC.
9. INVERT DEPTH OF EXISTING COMBINED SEWER BASED ON CITY RECORD INFORMATION ONLY.

CONSTRUCTION NOTES:

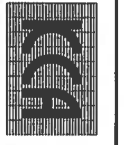
1. LIMIT OF WORK.
2. SAW CUT LINE.
3. MATCH EXISTING.
4. REMOVE CURB, CUTTER, PARKING STRIP AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 24" WIDE CONCRETE PARKING STRIP AND 21" WIDE CONCRETE SIDEWALK OFFICIAL SIDEWALK WIDTH IS 19".
5. REMOVE PAVING AND BASE AND CONSTRUCT 2" AC WEARING SURFACE OVER 10" CONCRETE BASE.
6. LEAVE OUT A 24"x24" SECTION OF SIDEWALK AT EACH TREE WELL LOCATION.
7. ADJUST WALLS, BOXES, METERS, CLEAN OUTS, ETC. TO THE PLANE OF THE NEW PAVING.
8. ADJUST BASES OF EXISTING POLES TO CONFORM TO THE PLANE OF THE NEW PAVING.
9. ADJUST THE FIRE HYDRANT TO CONFORM TO THE PLANE OF THE NEW PAVING. THE RESPONSIBILITY OF THE CONTRACTOR TO PRELIMINARY WITH THE SAN FRANCISCO FIRE DEPARTMENT.
10. ADJUST CATCH BASIN TO THE PLANE OF THE NEW PAVING.
11. CONSTRUCT NEW PEDESTRIAN CURB RAMPS WITH GROOVED BORDER AND YELLOW BOUNDED SURFACE.
12. PAVE AREA BETWEEN BACK OF SIDEWALK (LIMIT OF WORK) AND THE FACE OF BUILDING. SEE ARCHITECTURAL PLANS FOR MATERIAL, SLOPING, SURFACE TREATMENT, ETC.
13. ADJUST PARKING METERS TO THE PLANE OF THE NEW PAVING. COORDINATE WORK WITH STRATA.
14. REMOVE CURB AND SIDEWALK AND CONSTRUCT CURB WITH 412" WIDE CONCRETE SIDEWALK. OFFICIAL SIDEWALK WIDTH IS 12".
15. REMOVE CURB AND SIDEWALK CONSTRUCT CONCRETE CURB WITH 47" WIDE CONCRETE SIDEWALK OFFICIAL SIDEWALK WIDTH IS 7".
16. CONSTRUCT 12" WIDE COMMERCIAL CONCRETE AUTOMOBILE CURB RAMP WITH 6" THICK CONCRETE.
17. LEAVE OUT A 3.5'x2.0' SECTION OF SIDEWALK AT EACH EXISTING TREE ALONG SOUTH VAN NESS AVENUE.
18. LEAVE OUT A 3.5'x2.0' SECTION OF SIDEWALK AT THE EXISTING TREE ALONG ADAIR STREET.



ABBREVIATIONS:

| | |
|-------|---------------------------|
| BM | BACK OF SIDEWALK |
| CF | CURB FACE |
| CS | COMBINED SEWER |
| DUP | DUCTILE IRON PIPE |
| G | GUTTER |
| SD | STORM DRAIN |
| SS300 | STAINLESS STEEL CLEAN OUT |
| TT | TOP OF CURB |
| VB | TO BE DETERMINED |
| VCP | VITRIFIED CLAY PIPE |
| W | WATER METER |

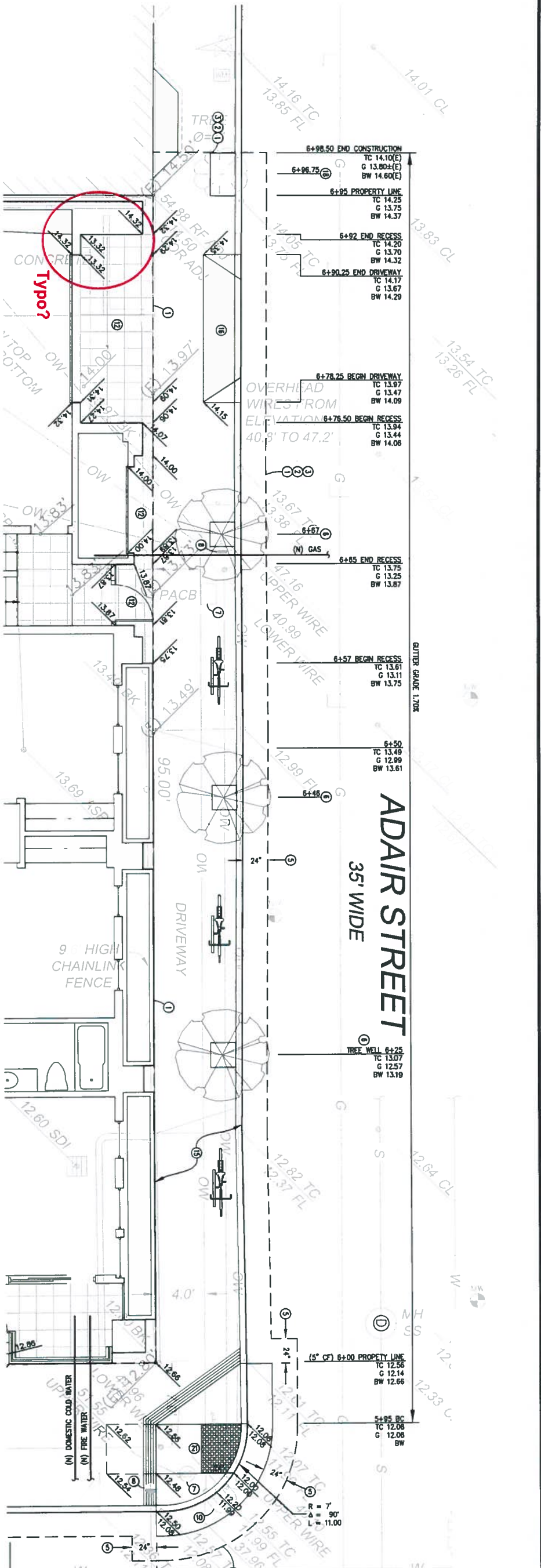
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| | | CON. PUB | REV. PUB |
| | | DATE 12/03/14 | |
| | | JOB NO. 5888 | |
| | | NO. | DATE |
| | | NO. | DATE |
| | | NO. | DATE |

SAN FRANCISCO

SIDEWALK IMPROVEMENT PLAN FOR
490 SOUTH VAN NESS AVENUE
ASSESSOR'S BLOCK 3553; LOT 008



GENERAL NOTES:

1. ALL CONSTRUCTION TO BE UNDERSTOOD IN ACCORDANCE WITH THE CITY AND COUNTY OF SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS WHICH ARE AVAILABLE ONE LINE AT WWW.SFPUBLICWORKS.COM - CONTRACTS & BID SECTION.
2. STATIONING SHOWN IS CALCULATED ALONG THE PROPERTY LINE.
3. BACK OF WALK (BW) ELEVATIONS ARE AT BACK OF WALK AT PROPERTY LINE.
4. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE THE PEDESTRIAN AND VEHICULAR TRAFFIC WITHIN THE CONSTRUCTION AREA.
5. ELEVATIONS BASED ON CITY OF SAN FRANCISCO DATUM.
6. UTILITY INFORMATION BASED ON SURVEYED APPROPRIATES AND RECORD INFORMATION. DUE TO INHERENT UNCERTAINTIES IN LOCATING UNDERGROUND FACILITIES THIS INFORMATION CANNOT BE GUARANTEED TO BE COMPLETE, NOR CAN BEST IN SERVICE AREA BUT NOT LOCKABLE, EXCLUSIVE WITH CONTROL. REPORT LOCATIONS IN FIELD FROM TO BE OPEN. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING AT 1-800-454-3444.
7. THE CITY WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE WATER METER FROM THE WATER METER TO THE BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NECESSARY, THE CITY WATER DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEHIND THE CURB LINE. CONTRACTOR WILL BE RESPONSIBLE FROM THIS CONNECTION POINT TO THE BUILDING.
8. SURVEY PROVIDED BY FREDERICK T. SEFT & ASSOCIATION, INC.
9. INVERT DEPTH OF EXISTING COMBINED SEWER BASED ON CITY RECORD INFORMATION ONLY.

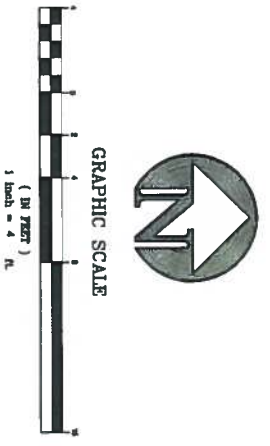
CONSTRUCTION NOTES:

1. LIMIT OF WORK.
2. SAW CUT LINE.
3. MATCH EXISTING.
4. REMOVE CURB, GUTTER, PARKING STRIP AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 4" WIDE CONCRETE PARKING STRIP AND 21" WIDE CONCRETE SIDEWALK. OPTICAL SIDEWALK WIDTH IS 13'.
5. REMOVE PAVING AND BASE AND CONSTRUCT 2" AC WEARING SURFACE OVER 1" CONCRETE BASE.
6. LEAVE OUT A 24"x24" SECTION OF SIDEWALK AT EACH TREE WELL LOCATION.
7. ADJUST VALVES, BOXES, METERS, CLEAN OUTS, ETC. TO THE PLANE OF THE NEW PAVING.
8. ADJUST BASES OF EXISTING POLES TO CONFORM TO THE PLANE OF THE NEW PAVING.
9. ADJUST THE FIRE HYDRANT TO CONFORM TO THE PLANE OF THE NEW PAVING. CONCRETE SHALL BE PLACED AND FINISHED TO THE THROATINGS WITH THE SAN FRANCISCO FIRE DEPARTMENT.
10. ADJUST CATCH BASIN TO THE PLANE OF THE NEW PAVING.
11. CONSTRUCT NEW PEDESTRIAN CURB RAIPS WITH GROOVED BORDER AND YELLOW DOLED SURFACE.
12. PAVE AREA BETWEEN BACK OF SIDEWALK (LIMIT OF WORK) AND THE FACE OF BUILDING. SEE ARCHITECTURAL PLANS FOR MATERIAL, SLOPING SURFACE TREATMENT, ETC.
13. ADJUST PARKING METERS TO THE PLANE OF THE NEW PAVING. COORDINATE WORK WITH START.
14. REMOVE CURB AND SIDEWALK AND CONSTRUCT CURB WITH 4" WIDE CONCRETE SIDEWALK. OPTICAL SIDEWALK WIDTH IS 12'.
15. REMOVE CURB AND SIDEWALK CONSTRUCT CONCRETE CURB WITH 4" WIDE CONCRETE SIDEWALK. OPTICAL SIDEWALK WIDTH IS 7'.
16. CONSTRUCT 12" WIDE COMMERCIAL CONCRETE AUTOMOBILE CURB RAMP WITH 6" THICK CONCRETE.
17. LEAVE OUT A 15"x24" SECTION OF SIDEWALK AT EACH EXISTING TREE ALONG SOUTH VAN NESS AVENUE.
18. LEAVE OUT A 15"x24" SECTION OF SIDEWALK AT THE EXISTING TREE ALONG ADAIR STREET.

19. REMOVE CURB AND 3" GUTTER AND CONSTRUCT NEW CONCRETE CURB WITH 3" WIDE CONCRETE GUTTER. PROTECT EXISTING SIDEWALK AND PEDESTRIAN RAMP IN PLACE.
20. GRIND 3" MINIMUM AC OR REMOVE EXISTING PAVING AND BASE AS NECESSARY TO RESULT IN A MINIMUM OF 1" WIDE WEARING SURFACE OVER 1" CONCRETE BASE.
21. CONSTRUCT PEDESTRIAN CURB RAMP WITH GROOVED BORDER, YELLOW DOLED SURFACE AND CURB WITH 24" WIDE GUTTER.

ABBREVIATIONS:

| | |
|------|--------------------------|
| BW | BACK OF SIDEWALK |
| CF | CURB FACE |
| CS | COMBINED SEWER |
| DP | DUCTILE IRON PIPE |
| G | GUTTER |
| GR | GUTTER RAMP |
| SR | SEWER |
| SSCO | SEWER SANITARY CLEAN OUT |
| TC | TOP OF CURB |
| TBD | TO BE DETERMINED |
| VP | VERTICAL CLAY PIPE |
| W | WATER |
| WH | WATER METER |



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| APPROVED: | PROJECT NO. | DATE: | NO. | DATE: |
| | 5888 | 12/03/14 | | |

SAN FRANCISCO

SIDEWALK IMPROVEMENT PLAN FOR
490 SOUTH VAN NESS AVENUE
ASSESSOR'S BLOCK 3553; LOT 008

CALIFORNIA