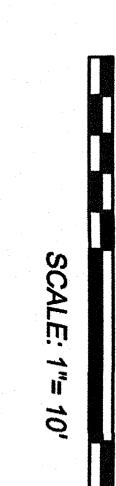
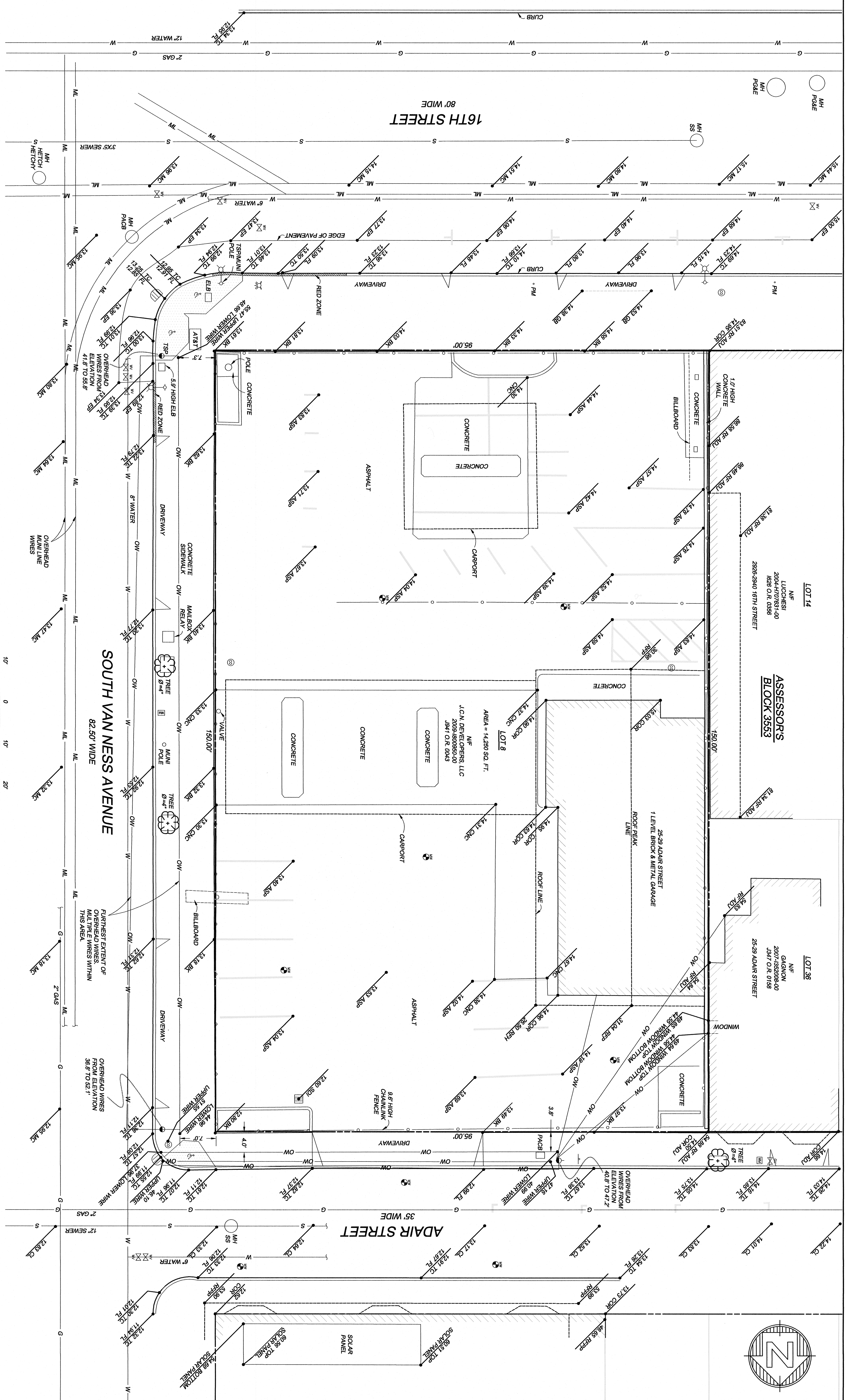


**LEGEND**

- ADJ ADJACENT BUILDING
- BK BACK OF WALK
- CL CENTER LINE
- CONG CONCRETE
- EP EDGE OF PAVEMENT
- ELB ELECTRIC BOX
- GB GROUND BREAK
- MC MIDDLE OF CURVE
- MANH MANHOLE
- MG MANHOLE GAS & ELECTRIC
- PM PARKING METER
- PP ROOF PAVEMENT
- RFP ROOF PAVEMENT
- SDM STORM DRAIN MILET
- SS TOP OF CURB
- TC TRAFFIC SIGNAL POLE
- 7SP
- CHALK LINK FENCE
- GL GAS LINE
- ML OVERHEAD ALUMI LINE
- OW OVERHEAD WIRE
- S SANITARY SEWER LINE
- W WATER LINE
- D DIAMETER
- F FINE HYDRANT
- G GAS VALVE
- H HANDICAP RAMP
- L LIGHT
- M MONITORING WELL
- PS PAINT STRIPE
- PP POWER POLE
- SC SANITARY SEWER CLEAN OUT/VENT
- SIGN
- SE SPOT ELEVATION
- SD STORM DRAIN INLET
- SDM STORM DRAIN MILET
- T TREE
- WM WATER METER
- WV WATER VALVE

**NOTE TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:**

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR OBLIGATIONS TO THE CLIENT AND THAT WE MAKE NO REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION HEREON. WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR THE CLIENT AND THAT IT REMAINS THE PROPERTY OF THE CLIENT. IT IS NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.
3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENTS HEREON SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR THE BUILDING PERMIT FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSE OR ON SITE IMPROVEMENTS IS BEYOND THE SURVEYOR'S INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH THE SURVEYOR'S LIABILITY IS LIMITED TO THE SURVEYOR'S PROFESSIONAL LIABILITY.
4. THAT ANY IMPROVEMENT CHANGES WITHIN THE SITE OR THE ADJACENT SITE HEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION EXCEPT FOR A TA MAAS) AND/OR THE LARSE OF 3 OR MORE VACANT LOTS OF THE MAP HEREON SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR THE REVISIONS TO THE MAP REPLY, UPDATE OR RE-CERTIFY THE MAP.
5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS OF BEYOND OUR CLIENTS SHALL BE THE IMMEDIATE RESPONSIBILITY OF THE CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
8. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT OF A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION, WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REFERRED, SIGNED AND SEALED BY US.



**SURVEY REFERENCE:**

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED RECORDED JULY 24, 2009, DOCUMENT NUMBER 2009-080999-00, ON REEL 3941 AT IMAGE 0043.

**UTILITY NOTE:**

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION AND ACCEPTANCE OF SAID UTILITIES BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**BOUNDARY NOTES:**

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY. THE BOUNDARY LINES SHOWN HEREON ARE THE RESULT OF A SURVEY UNDER CALIFORNIA STATE LAW, BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

**DATE OF FIELD SURVEY:**

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES, INC. ON NOVEMBER 13, 2016.

**PROJECT BENCHMARK - DESCRIPTION:**

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS LOCATED AT THE INTERSECTION OF 16TH STREET AND MISSION STREET. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM, NAD 83 CORNER LETTER 'O' ON OPEN TOP HPMS HYDROANT. ELEVATION = 41.12'

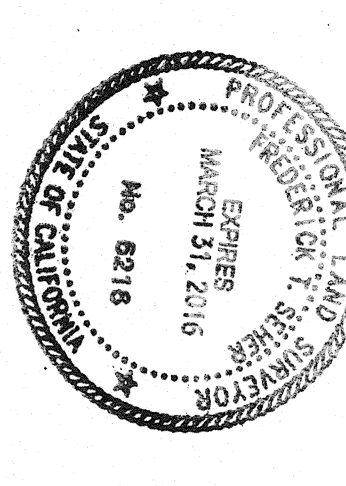
**GENERAL NOTE:**

THE SOLAR LINES OF ALL THESE PLOTTER HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DIMENSIONS THEREOF.

**SURVEYORS STATEMENT:**

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE: JUN 16 2016  
 FREDERICK T. SEHER, PLS  
 LICENSE NO. 6216  
 LICENSE EXPIRES MARCH 31, 2016



DATE: JANUARY, 2012  
 SCALE: 1" = 8'  
 DRAWING BY: HRE  
 DRAWING NAME: 1366-09  
 SURVEYED BY:  
 CHECKED BY:  
 NO. BY DATE REVISIONS

**FREDERICK T. SEHER & ASSOCIATES, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 SURVEYING & MAPPING  
 841 LOMBARD STREET, SAN FRANCISCO, CA 94133  
 (415) 921-7690 FAX (415) 921-7695

**ARCHITECTURAL SITE SURVEY**  
**490 SOUTH VAN NESS AVENUE, SAN FRANCISCO**  
**ASSESSOR'S BLOCK 3553; LOT 008**

SHEET 1 OF 1 FILE NO. 1366-09